



**AGENDA REVIEW MEETING  
CHESTERFIELD CITY COUNCIL  
Wednesday, September 7, 2016  
6:15PM**

**1. Appointments**

**A. Chesterfield Blue Valley CID Board of Directors**

**2. Planning and Public Works Committee – Chairperson Dan Hurt, Ward III**

**A. Bill No. 3106-Wilson Road Culvert Replacement (Second Reading)**

**B. Bill No. 3107-P.Z. 07-2015 Monsanto Chesterfield Campus (Second Reading)**

**C. Bill No. 3108-P.Z. 10-2015 Kemp Auto Museum (Second Reading)**

**D. Bill No. 3110- P.Z. 04-2016 US Ice Sports Complex & Valley Gates (First Reading)**

**E. Next Meeting – September 22, 2016**

**3. Finance and Administration Committee – Chairperson Bruce DeGroot, Ward IV**

**A. Next Meeting – September 26, 2016 (F&A Committee of The Whole)**

**4. Report from the City Administrator – Mike Geisel**

**A. Gamble Schlemeier Contract**

**B. Bid Results**

**1. Kehrs Mill Landscape**

**2. 2016 Accessible Ramp Improvement Project**

**C. Liquor License Requests**

- 1. The Shack**
- 2. Rock and Brews Chesterfield**
- 3. Symbowl**

**5. Unfinished Business – Mayor Bob Nation**

- A. Sunshine Law Presentation – Interim City Attorney Chris Graville**
- B. Policy Revision – Committee Approval of Expenditures**

**6. New Business – Mayor Bob Nation**

**7. Adjourn –**

**NOTE:** City Council will consider and act upon the matters listed above and such other matters as may be presented at the meeting and determined to be appropriate for discussion at that time.

**Notice** is hereby given that the City Council may also hold a closed meeting for the purpose of dealing with matters relating to one or more of the following: legal actions, causes of action, litigation or privileged communications between the City's representatives and its attorneys (RSMo 610.021(1) 1994; lease, purchase or sale of real estate (RSMo 610.021(2) 1994; hiring, firing, disciplining or promoting employees with employee groups (RSMo 610.021(3) 1994; bidding specification (RSMo 610.021(11) 1994; and/or proprietary technological materials (RSMo 610.021(15) 1994.



**AGENDA**  
**CHESTERFIELD CITY COUNCIL MEETING**  
**Chesterfield City Hall**  
**690 Chesterfield Parkway West**  
**Wednesday, September 7, 2016**  
**7:00PM**

- I. CALL TO ORDER** – Mayor Bob Nation
  
- II. PLEDGE OF ALLEGIANCE** – Mayor Bob Nation
  
- III. MOMENT OF SILENT PRAYER** – Mayor Bob Nation
  
- IV. ROLL CALL** –City Clerk Vickie Hass
  
- V. APPROVAL OF MINUTES** – Mayor Bob Nation
  - A. City Council Meeting Minutes** – August 15, 2016
  - B. City Council Meeting Minutes** – August 22, 2016
  - C. Executive Session Minutes** – August 12, 2016
  - D. Executive Session Minutes** – August 13, 2016
  
- VI. COMMUNICATIONS AND PETITIONS** – Mayor Bob Nation
  - A. City of Cool Valley, SB 5**

**VII. INTRODUCTORY REMARKS - Mayor Bob Nation**

- A. Monday, September 12, 2016 – Planning Commission Meeting**
- B. Friday, September 16-18, 2016 – Taste of St. Louis**
- C. Monday, September 19, 2016 – Next City Council Meeting**
- D. Thursday, September 22, 2016 – Planning and Public Works Committee**
- E. Monday, September 26, 2016- F&A Committee**

**VIII. APPOINTMENTS – Mayor Bob Nation**

- A. Chesterfield Blue Valley CID Board of Directors**

**IX. COUNCIL COMMITTEE REPORTS**

- A. Planning and Public Works Committee – Chairperson Dan Hurt, Ward III**
  - 1. Bill No. 3106- Wilson Road Culvert Replacement (Second Reading)**
  - 2. Bill No. 3107- P.Z. 07-2015 Monsanto Chesterfield Campus (Second Reading)**
  - 3. Bill No. 3108- P.Z. 10-2015 Kemp Auto Museum (Second Reading)**
  - 4. Bill No. 3110- P.Z. 04-2016 US Ice Sports Complex & Valley Gates (First Reading)**
  - 5. Next Meeting- September 22, 2016**
  
- B. Finance and Administration Committee – Chairperson Bruce DeGroot, Ward IV**
  - 1. Next Meeting – September 26, 2016 (F&A Committee of The Whole)**

**X. REPORT FROM THE CITY ADMINISTRATOR – Mike Geisel**

- A. Gamble Schlemeier Contract**

**B. Bid Results**

1. Kehrs Mill Landscape
2. 2016 Accessible Ramp Improvement Project

**C. Liquor License Requests**

1. The Shack
2. Rock and Brews Chesterfield
3. Symbowl

**XI. UNFINISHED BUSINESS – Mayor Bob Nation**

- A. **Sunshine Law Presentation** – Interim City Attorney Chris Graville
- B. **Policy Revision** – Committee Approval of Expenditures

**XII. NEW BUSINESS – Mayor Bob Nation**

**XIII. LEGISLATION**

- A. **BILL NO. 3106**-AN ORDINANCE OF THE CITY OF CHESTERFIELD, MISSOURI AUTHORIZING CONDEMNATION OF CERTAIN INTERESTS IN REAL PROPERTY LOCATED IN THE CITY FOR THE PURPOSE OF SECURING A PERMANENT DRAINAGE EASEMENT AND TEMPORARY CONSTRUCTION EASEMENT NECESSARY FOR THE CONSTRUCTION AND IMPROVEMENT OF WILSON ROAD. **(SECOND READING)**

**XIV. LEGISLATION – PLANNING COMMISSION**

- A. **BILL NO. 3107**-AN ORDINANCE AMENDING THE UNIFIED DEVELOPMENT CODE OF THE CITY OF CHESTERFIELD BY CHANGING THE BOUNDARIES OF AN EXISTING “C8” PLANNED COMMERCIAL DISTRICT TO “UC” URBAN CORE DISTRICT FOR A 200.2 ACRE TRACT OF LAND LOCATED ON THE NORTH SIDE OF CHESTERFIELD PARKWAY WEST, APPROXIMATELY 2,000 FEET EAST OF CITY CENTER DRIVE (P.Z 07-2015 MONSANTO CHESTERFIELD CAMPUS[C-8 TO UC]— 17S210094,17S230025, 17S230014,17S230036 & 17S240057) **(SECOND READING; PLANNING COMMISSION RECOMMENDS APPROVAL)**

**B. BILL NO. 3108 - AN ORDINANCE AMENDING THE UNIFIED DEVELOPMENT CODE OF THE CITY OF CHESTERFIELD BY CHANGING THE BOUNDARIES OF AN EXISTING "PC" PLANNED COMMERCIAL DISTRICT WITH A "MAA" MUSEUM AND ARTS OVERLAY DISTRICT TO A NEW "PC" PLANNED COMMERCIAL DISTRICT FOR A 5.104 ACRE TRACT LOCATED NORTHEAST OF THE INTERSECTION OF CHESTERFIELD AIRPORT ROAD AND CHESTERFIELD COMMONS DRIVE (P.Z 10-2015 KEMP AUTO MUSEUM [16955 CHESTERFIELD AIRPORT ROAD.]-17T140211) (SECOND READING; PLANNING COMMISSION RECOMENDS APPROVAL)**

**C. BILL NO. 3110- AN ORDINANCE AMENDING THE UNIFIED DEVELOPMENT CODE OF THE CITY OF CHESTERFIELD BY CHANGING THE BOUNDARIES OF TWO EXISTING "PC" PLANNED COMMERCIAL DISTRICTS FOR A 22.22 ACRE TRACT OF LAND LOCATED NORTH OF NORTH OUTER 40 ROAD AND EAST OF BOONE'S CROSSING(P.Z 04-2016 US ICE SPORTS COMPLEX & VALLEY GATES[TOPGOLF USA CHESTERFIELD LLC.] – 17T510041, 17T520062, 17T520095, 17T520084) (FIRST READING; PLANNING COMMISSION RECOMMENDS APPROVAL)**

## **XV. ADJOURNMENT**

**NOTE:** City Council will consider and act upon the matters listed above and such other matters as may be presented at the meeting and determined to be appropriate for discussion at that time.

**Notice** is hereby given that the City Council may also hold a closed meeting for the purpose of dealing with matters relating to one or more of the following: legal actions, causes of action, litigation or privileged communications between the City's representatives and its attorneys (RSMo 610.021(1) 1994; lease, purchase or sale of real estate (RSMo 610.021(2) 1994; hiring, firing, disciplining or promoting employees with employee groups (RSMo 610.021(3) 1994; bidding specification (RSMo 610.021(11) 1994; and/or proprietary technological materials (RSMo 610.021(15) 1994.

**AGENDA REVIEW – Wednesday, 9/7/2016 – 6:15 PM**

An AGENDA REVIEW meeting has been scheduled to start at **6:15 pm**, on **Wednesday, September 7<sup>th</sup>, 2016**. Please let me know, ASAP, if you will be unable to attend this meeting.

**EXECUTIVE SESSION (CLOSED MEETING)**

An **EXECUTIVE SESSION (CLOSED MEETING)** has been scheduled to take place, immediately following the AGENDA REVIEW Meeting, which, itself, is scheduled to begin, this coming Wednesday, September 7, 2016, at 6:15pm.

The purpose of this Executive Session is to allow **CONFIDENTIAL COMMUNICATION** by/among the Mayor/City Council, Mr. Graville and appropriate Staff for the purpose of providing updates and information regarding the current status of acquisition of real estate, lease and contract negotiations.

As always, if you have any questions, please contact me prior to Wednesday's meeting.



## RECORD OF PROCEEDING

---

### MEETING OF THE CITY COUNCIL OF THE CITY OF CHESTERFIELD AT 690 CHESTERFIELD PARKWAY WEST

**AUGUST 15, 2016**

---

The meeting was called to order at 7 p.m.

Mayor Bob Nation led everyone in the Pledge of Allegiance and followed with a moment of silent prayer.

A roll call was taken with the following results:

PRESENT

ABSENT

Mayor Bob Nation  
Councilmember Barry Flachsbart  
Councilmember Barbara McGuinness  
Councilmember Bridget Nations  
Councilmember Guy Tilman  
Councilmember Dan Hurt  
Councilmember Randy Logan  
Councilmember Tom DeCampi  
Councilmember Bruce DeGroot

APPROVAL OF MINUTES

The minutes of the August 1, 2016 City Council meeting were submitted for approval. Councilmember Tilman made a motion, seconded by Councilmember Nations, to approve the City Council minutes. A voice vote was taken with a unanimous affirmative result and the motion was declared passed.

The minutes of the July 27, 2016 Executive Session meeting were submitted for approval. Councilmember McGuinness made a motion, seconded by Councilmember Nations, to approve the July 27 Executive Session minutes. A voice vote was taken with a unanimous affirmative result and the motion was declared passed.

The minutes of the August 1, 2016 Executive Session meeting were submitted for approval. Councilmember Nations made a motion, seconded by Councilmember Logan, to approve the August 1 Executive Session minutes. A voice vote was taken with a unanimous affirmative result and the motion was declared passed.

Councilmember Flachsbart made a motion, seconded by Councilmember Nations, to suspend the rules and move “Introductory Remarks” prior to “Communications and Petitions” on the agenda. A voice vote was taken with a unanimous affirmative result and the motion was declared passed.

### **INTRODUCTORY REMARKS**

Mayor Nation stated that he was pleased to announce the City Council and Mayor have finished the interview and selection process for the position of City Administrator. Mr. Michael O. Geisel will be appointed as City Administrator effective Monday, August 22, 2016.

Mayor Nation announced that the next meeting of City Council has been scheduled for Wednesday, September 7, at 7 p.m., but there may be a Special City Council meeting scheduled for Monday, August 22.

### **COMMUNICATIONS AND PETITIONS**

Ms. Teresa Crossland, 800 N. Lindbergh Blvd., St. Louis, stated she was present to answer questions pertaining to (P.Z. 07-2015 Monsanto Chesterfield Campus).

Mr. Tim Peel, 2203 Rebecca Lynn Court, spoke in support of extending the existing Transportation Development District (TDD) sales tax in the Valley to support Chesterfield Hockey.

Mr. Mike Murphy, 1084 Nooning Tree, spoke in support of extending the TDD in the Valley to support Chesterfield Hockey.

Mr. Bill Kirchner, 1844 Cabinwood Court, spoke in support of extending the TDD in the Valley to support Chesterfield Hockey.

Mr. Ganesh Krishnamurthy, 1077 Arbor Grove Court, asked Council to consider providing a space for Cricket pitch at a reduced rate in order to grow the sport.

Mr. Harish Ponnareddy, 1095 Nooning Tree Drive, asked Council to consider providing a space for Cricket pitch at a reduced rate in order to grow the sport.

Former Councilmember Mike Cullen, 1310 Bentley Place, spoke in support of extending the TDD in the Valley to support Chesterfield Hockey.

Mr. Kelly Chase, 16984 Bottlebrush Court, spoke in support of extending the TDD in the Valley to support Chesterfield Hockey.

Councilmember Logan made a motion, seconded by Councilmember Flachsbart, to suspend the rules and move the first item under "New Business" (TDD Support for Chesterfield Hockey) to immediately follow "Communications and Petitions". A voice vote was taken with a unanimous affirmative result and the motion was declared passed.

### **NEW BUSINESS – TDD Support for Chesterfield Hockey**

Mayor Nation explained a request has been received from the hockey community consisting of the Staenberg Group and the Chesterfield Hockey Association, to extend the Chesterfield Valley Transportation Development District (TDD) by up to 15 years. He briefly explained the TDD is a separate political entity of the state that was voted on in 2005 and created in 2006. The purpose of the TDD is to pay for transportation related projects within the specified area, and is currently set to expire in 2031. There are four voting board members on the Valley TDD committee: Mayor Nation, City Administrator Mike Geisel and two representatives from St. Louis County. Mayor Nation went on to explain the purpose for this item being on the Council agenda was simply to share the information as a matter of transparency and get a sense of the level of support, or non-support, from Councilmembers. Chesterfield City Council does not vote on this issue, and the TDD is completely separate from the City of Chesterfield's finances.

Mayor Nation explained that if the Board would vote in favor of extending the TDD, ballots would be sent to registered voters in the area. If approved, the current sunset would be extended by up to 15 years (approximately 2046) and the debt issued would be subordinate, which means the interest rate associated with that debt would be considerably higher than if there were no underlying debt. Councilmember Flachsbart clarified that the TDD would only cover qualified transportation related expenses, and those are defined very clearly by the state.

In order to get a sense of Council's position on this issue, Mayor Nation asked each Councilmember for their opinion. Most Councilmembers were supportive of the TDD extension. Councilmembers Hurt and McGuinness stated they would like additional information, but were generally supportive of the extension. Councilmember DeCampi inquired about economic impact and a proposed business plan. He then stated that since detailed information was not available, he was not supportive of the TDD extension at this time.

## **APPOINTMENTS**

Mayor Nation nominated Ms. Barb Whitman, 1942 Ridge Lake (Ward III), for re-appointment to the Board of Adjustment. Councilmember Hurt made a motion, seconded by Councilmember Tilman, to approve this re-appointment. A voice vote was taken with a unanimous affirmative result and the motion was declared passed. Ms. Whitman's new five-year term will expire August 1, 2021.

## **COUNCIL COMMITTEE REPORTS**

### **Planning/Public Works Committee**

Councilmember Dan Hurt, Chairperson of the Planning/Public Works Committee, reported that Bill No. 3105 (Chesterfield Parkway Bridge) will be considered for adoption under the "Legislation" portion of the agenda.

Councilmember Hurt reported that Bill No. 3106 (Wilson Road Culvert Replacement) will be read for the first time under the "Legislation" portion of the agenda.

Councilmember Hurt reported that Bill No. 3107 (P.Z. 07-2015 Monsanto Chesterfield Campus) will be read for the first time under the "Legislation – Planning Commission" portion of the agenda.

Councilmember Hurt reported that Bill No. 3108 (P.Z. 10-2015 Kemp Auto Museum) will be read for the first time under the "Legislation – Planning Commission" portion of the agenda.

Councilmember Hurt made a motion, seconded by Councilmember Flachsbarth, to approve Resolution No. 425 which adopts the Operation and Maintenance Program for the Department of Public Works. This Operation and Maintenance manual is required to maintain compliance with the City's MS-4 permit related to the Clean Water Act. A voice vote was taken with a unanimous affirmative result and the motion was declared passed.

Councilmember Hurt announced that the next meeting of this Committee has been scheduled for Thursday, August 18, at 5:30 p.m.

### **Finance and Administration Committee**

Councilmember Bruce DeGroot, Chairperson of the Finance and Administration Committee, reported that Bill No. 3104 (Conflict of Interest Policy) will be considered for adoption under the "Legislation" portion of the agenda.

Councilmember DeGroot announced that the next meeting of this Committee has been scheduled for Monday, August 22, at 5:30 p.m.

## **REPORT FROM THE CITY ADMINISTRATOR**

Acting Co-City Administrator Mike Geisel reported that Edison Operations, LLC dba Edison Express, located at 158 Long Road, has requested a new liquor license, to sell all kinds of liquor in the original package and Sunday sales. Mr. Geisel reported that, per City policy, this application has been reviewed and is now recommended for approval by both the Planning/Public Services Division and Police Department. Councilmember DeGroot made a motion, seconded by Councilmember Nations, to approve issuance of a new liquor license to Edison Express. A voice vote was taken with a unanimous affirmative result and the motion was declared passed.

Mr. Geisel reported that Staff had received bids for 2016 Sidewalk Construction Contract "C". Based upon review of information provided by Public Works Director/City Engineer Jim Eckrich, Mr. Geisel joined with him in recommending award of a contract to Amcon Municipal Concrete, in an amount not to exceed \$179,000. This project is within budget and fully funded by a combination of grant funds and City funds from the Capital Improvement Sales Tax proceeds. Councilmember Flachsbart made a motion, seconded by Councilmember Logan, to approve this recommendation. A voice vote was taken with a unanimous affirmative result and the motion was declared passed.

Mr. Geisel reported that Staff had sought competitive pricing for the replacement of the HVAC unit at the Public Works Facility. The unit being replaced is the original equipment installed with the construction of the facility and is well past its service life. Based upon review of information provided by Public Works Director/City Engineer Jim Eckrich, Mr. Geisel joined with him in recommending award of a contract to Murphy Mechanical for the replacement of the Public Works HVAC unit at a cost not to exceed \$32,000. The full amount of this project is budgeted within the Capital Projects fund. Councilmember Hurt made a motion, seconded by Councilmember Flachsbart, to approve this recommendation. A voice vote was taken with a unanimous affirmative result and the motion was declared passed.

Mr. Geisel reported that Staff had received bids for sediment removal from the lake within the Village of Greentrails. This project was authorized and directed by the Council pursuant to settlement of litigation with the developers of the Brunhaven subdivision. Based upon review of information provided by Public Works Director/City Engineer Jim Eckrich, Mr. Geisel joined with him in recommending acceptance of the proposal submitted and reviewed by Muck Miners in an amount not to exceed \$75,000 which corresponds to the value of the mediated settlement. Councilmember Flachsbart made a motion, seconded by Councilmember Tilman, to approve this recommendation. A voice vote was taken with a unanimous affirmative result and the motion was declared passed.

## **UNFINISHED BUSINESS**

There was no unfinished business.

Councilmember Flachsbart made a motion, seconded by Councilmember McGuinness, to suspend the rules and proceed with “Legislation” to be followed by the two remaining items under “New Business”. A voice vote was taken with a unanimous affirmative result and the motion was declared passed.

**LEGISLATION**

**BILL NO. 3104 RE-ADOPTS THE PROCEDURE ESTABLISHED IN ORDINANCE NO. 605 OF THE CITY OF CHESTERFIELD AS THE PROCEDURE FOR DISCLOSURE OF CONFLICTS FOR CERTAIN MUNICIPAL OFFICIALS (SECOND READING)**

Councilmember DeGroot made a motion, seconded by Councilmember Flachsbart, for the second reading of Bill No. 3104. A voice vote was taken with a unanimous affirmative result and the motion was declared passed. Bill No. 3104 was read for the second time. A roll call vote was taken for the passage and approval of Bill No. 3104 with the following results: Ayes – Nations, Hurt, McGuinness, DeCampi, Logan, Flachsbart, Tilman and DeGroot. Nays – None. Whereupon Mayor Nation declared Bill No. 3104 approved, passed it and it became **ORDINANCE NO. 2906**.

**BILL NO. 3105 AUTHORIZES THE CITY ADMINISTRATOR TO EXECUTE A CONTRACT WITH SAINT LOUIS COUNTY FOR CONSTRUCTION OF STREET LIGHTING AND SIDEWALKS ALONG CHESTERFIELD PARKWAY EAST IN CONJUNCTION WITH THE CHESTERFIELD PARKWAY PEDESTRIAN BRIDGE PROJECT (SECOND READING)**

Councilmember Hurt made a motion, seconded by Councilmember Logan, for the second reading of Bill No. 3105. A voice vote was taken with a unanimous affirmative result and the motion was declared passed. Bill No. 3105 was read for the second time. A roll call vote was taken for the passage and approval of Bill No. 3105 with the following results: Ayes – DeCampi, Logan, Tilman, Hurt, Flachsbart, DeGroot, Nations and McGuinness. Nays – None. Whereupon Mayor Nation declared Bill No. 3105 approved, passed it and it became **ORDINANCE NO. 2907**.

**BILL NO. 3106 AUTHORIZES CONDEMNATION OF CERTAIN INTERESTS IN REAL PROPERTY LOCATED IN THE CITY FOR THE PURPOSE OF SECURING A PERMANENT DRAINAGE EASEMENT AND TEMPORARY CONSTRUCTION EASEMENT NECESSARY FOR THE CONSTRUCTION AND IMPROVEMENT OF WILSON ROAD (FIRST READING)**

Councilmember Hurt made a motion, seconded by Councilmember Logan, for the first reading of Bill No. 3106. A voice vote was taken with a unanimous affirmative result and the motion was declared passed. Bill No. 3106 was read for the first time.

## **LEGISLATION – PLANNING COMMISSION**

**BILL NO. 3107** AMENDS THE UNIFIED DEVELOPMENT CODE OF THE CITY OF CHESTERFIELD BY CHANGING THE BOUNDARIES OF AN EXISTING “C8” PLANNED COMMERCIAL DISTRICT TO “UC” URBAN CORE DISTRICT FOR A 200.2 ACRE TRACT OF LAND LOCATED ON THE NORTH SIDE OF CHESTERFIELD PARKWAY WEST, APPROXIMATELY 2,000 FEET EAST OF CITY CENTER DRIVE (P.Z 07-2015 MONSANTO CHESTERFIELD CAMPUS[C-8 TO UC]—17S210094,17S230025, 17S230014,17S230036 & 17S240057) **(FIRST READING; PLANNING COMMISSION RECOMMENDS APPROVAL)**

Councilmember Hurt made a motion, seconded by Councilmember Flachsbart, for the first reading of Bill No. 3107. A voice vote was taken with a unanimous affirmative result and the motion was declared passed. Bill No. 3107 was read for the first time.

**BILL NO. 3108** AMENDS THE UNIFIED DEVELOPMENT CODE OF THE CITY OF CHESTERFIELD BY CHANGING THE BOUNDARIES OF AN EXISTING “PC” PLANNED COMMERCIAL DISTRICT WITH A “MAA” MUSEUM AND ARTS OVERLAY DISTRICT TO A NEW “PC” PLANNED COMMERCIAL DISTRICT FOR A 5.104 ACRE TRACT LOCATED NORTHEAST OF THE INTERSECTION OF CHESTERFIELD AIRPORT ROAD AND CHESTERFIELD COMMONS DRIVE (P.Z 10-2015 KEMP AUTO MUSEUM [16955 CHESTERFIELD AIRPORT ROAD.]- 17T140211) **(FIRST READING; PLANNING COMMISSION RECOMMENDS APPROVAL)**

Councilmember Hurt made a motion, seconded by Councilmember Flachsbart, for the first reading of Bill No. 3108. A voice vote was taken with a unanimous affirmative result and the motion was declared passed. Bill No. 3108 was read for the first time.

## **NEW BUSINESS**

TDD Support for Chesterfield Hockey was discussed earlier in the meeting, following “Communications and Petitions”.

Councilmembers McGuinness and Tilman suggested scheduling a training session on the Missouri Sunshine Law. Councilmember Flachsbart stated that Interim City Attorney Chris Graville would be well qualified to present that information at the next regularly scheduled City Council meeting during the “New Business” section of the agenda. Mr. Graville agreed that he could cover a “Top 10” list of things to know about the Missouri Sunshine Law with feedback and questions, in approximately 10-15 minutes. This item will be placed on the agenda for the next meeting.

Councilmember McGuinness stated that she would like Council to review all marketing expenditures and contributions, rather than having them approved at the Committee level. Councilmember Flachsbart made a motion, seconded by Councilmember Tilman, to bring forward possible revised policies, for consideration to require expenditures to be approved by full Council, rather than at the committee level. A voice vote was taken with a unanimous affirmative result and the motion was declared passed.

**ADOURNMENT**

There being no further business to discuss, Mayor Nation adjourned the meeting at 8:40 p.m.

---

Mayor Bob Nation

**ATTEST:**

---

Vickie J. Hass, City Clerk



## RECORD OF PROCEEDING

---

### SPECIAL MEETING OF THE CITY COUNCIL OF THE CITY OF CHESTERFIELD AT 690 CHESTERFIELD PARKWAY WEST

**AUGUST 22, 2016**

---

The meeting was called to order at 5 p.m.

Mayor Bob Nation led everyone in the Pledge of Allegiance and followed with a moment of silent prayer.

A roll call was taken with the following results:

PRESENT

ABSENT

Mayor Bob Nation  
Councilmember Barry Flachsbart  
Councilmember Barbara McGuinness  
Councilmember Bridget Nations  
Councilmember Guy Tilman  
Councilmember Dan Hurt  
Councilmember Randy Logan  
Councilmember Tom DeCampi  
Councilmember Bruce DeGroot

Councilmember Logan made a motion, seconded by Councilmember Flachsbart, to suspend the rules and move “Introductory Remarks” prior to “Communications and Petitions” on the agenda. A voice vote was taken with a unanimous affirmative result and the motion was declared passed.

## **INTRODUCTORY REMARKS**

Mayor Nation announced the purpose of this Special City Council Meeting was to appoint Michael O. Geisel as the new City Administrator. He explained the decision was made to schedule a Special City Council meeting, rather than wait until the next regularly scheduled Council meeting, to formalize the process. He stated that, after urging from the community, Council decided to employ The Novak Group through a Request for Proposal process. A nationwide search produced over forty candidates and The Novak Group presented the top twelve candidates to Council for further review. Council then selected four candidates to interview, in addition to the City's internal candidate, Michael O. Geisel. Two of the five candidates withdrew their applications within a day or two of the scheduled interviews and Council decided to proceed with interviewing the three remaining applicants.

After the initial interviews, facilitated by The Novak Group, Council decided to ask two of the applicants back for second interviews. Council then made the decision to offer the City Administrator position to Mr. Geisel. Terms and conditions were negotiated and the process was essentially complete. Mayor Nation thanked the community for their support and encouragement during the search process. He continued by stating that all candidates were vetted and the Mayor and Council did their due diligence and made the best decision on behalf of the City of Chesterfield.

## **COMMUNICATIONS AND PETITIONS**

Ms. Marjie Saiter, 1328 Carriage Crossing Lane, urged Council to thoroughly investigate the request to extend the Chesterfield Valley Transportation Development District (TDD), stating that she would like information beyond emotional pleas.

Mr. Bob Clausen, 16901 Pacland Ridge Drive, urged Council to demonstrate transparency, honesty and clear communication with its citizens. He also requested the position of Director of Public Services be permanently eliminated, thereby making the City Administrator responsible for both roles.

Ms. Patty Vietmeier, 186 Kendall Bluff Court, urged Council to appoint an outside candidate to the City Administrator position.

Mr. Ron Cawood, 16992 Riverdale Drive, urged Council to be diligent in demonstrating transparency. He also requested an invocation at each meeting rather than silent prayer.

Ms. Wendy Geckeler, 26 Chesterfield Lakes Road, thanked Council for their diligence in performing a national search for City Administrator and stated that she is in complete agreement with their selection.

Mr. Steve Stetz, 16009 Aston Court, stated that many have lost trust in the City Council, and urged Council to demonstrate transparency in order to regain trust.

Mayor Nation made a brief statement, asserting that significant emphasis has been placed on the need for a cultural change in our City government. He continued by stating that Mr. Geisel is fully committed to following through and making the changes and improvements that are needed.

### APPOINTMENTS/LEGISLATION

BILL NO. 3109      APPOINTS MICHAEL O. GEISEL TO THE OFFICE OF CITY ADMINISTRATOR AND APPROVES THE COMPENSATION AND OTHER TERMS AND CONDITIONS OF EMPLOYMENT

Mayor Nation nominated Mr. Michael O. Geisel to be appointed as City Administrator. Councilmember Nations made a motion, seconded by Councilmember Logan, for the first reading of Bill No. 3109. A voice vote was taken with a unanimous affirmative result and the motion was declared passed. Bill No. 3109 was read for the first time.

Councilmember Flachsbart made a motion, seconded by Councilmember Tilman, to suspend the rules and allow the second reading of Bill No. 3109. A voice vote was taken with an affirmative result (Councilmember DeCampi voted “No”) and the motion was declared passed.

Councilmember Flachsbart made a motion, seconded by Councilmember Tilman, for the second reading of Bill No. 3109. A voice vote was taken with a unanimous affirmative result and the motion was declared passed. Bill No. 3109 was read for the second time. A roll call vote was taken for the passage and approval of Bill No. 3109 with the following results: Ayes – McGuinness, DeGroot, Nations, Hurt, Logan, Tilman and Flachsbart. Nays – DeCampi. Whereupon Mayor Nation declared Bill No. 3109 approved, passed it and it became **ORDINANCE NO. 2908**.

### SWEARING-IN CEREMONY

Mayor Nation recognized the Honorable Richard K. Brunk, Jr., Municipal Judge. Judge Brunk then conducted the Swearing-In Ceremony for City Administrator Michael O. Geisel.

Mr. Geisel addressed the Mayor and Council, stating that this has been a long and challenging process, but he is hopeful that the City can get back to business and set a new course of direction. He thanked his family and others who have supported him, stating that their comments have been uplifting. He then addressed those who remain skeptical and continue to have concerns, affirming that he understands completely and is eager to set a new course. He asked for fair judgment and a chance to regain trust. He concluded by stating that he and Staff are up for the challenge.

**ADJOURNMENT**

There being no further business to discuss, Mayor Nation adjourned the meeting at 5:49 p.m.

---

Mayor Bob Nation

**ATTEST:**

---

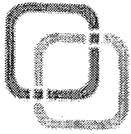
Vickie J. Hass, City Clerk

**COMMUNICATIONS AND PETITIONS - CITY OF COOL VALLEY, SB 5**

The Mayor received the enclosed communication from the Executive Director of the Municipal League of St. Louis, forwarding a request by the City of Cool Valley to participate financially in challenging SB 5. The City of Cool Valley estimates that an additional \$45,000 is required for this effort and is requesting that the area Cities contribute towards this effort in an amount between \$530 or \$900.

Mayor Nation has requested that this communication be included in the agenda packet for discussion at Wednesday's meeting.

**As always, if you have any questions or require additional information, please contact Mayor Nation or me prior to Wednesday's meeting.**



**MUNICIPAL LEAGUE  
OF METRO ST. LOUIS**

Chief Administrative Officers,

Attached is a letter from Mayor Viola Murphy, City of Cool Valley. As you are aware a group of cities filed a lawsuit challenging SB5. The Judge in Cole County found in favor of the plaintiff cities after which the State filed an appeal to the Supreme Court. Mayor Murphy is representing the cities named in the case, she is requesting financial support in order to fund the legal expenses for the final hearings at the Supreme Court.

Please take a minute to review the letter and consider the request. If you have any question feel free to contact me at any time.

Thanks you,

Pat

*Pat Kelly  
Executive Director  
Municipal League of Metro St. Louis  
1034 Brentwood Blvd Suite 410  
Richmond Heights, Mo. 63117  
Cell: 314-252-1800  
Office: 314-726-4748  
Fax: 314-726-1520*

[PKelly@stlmuni.org](mailto:PKelly@stlmuni.org)  
[www.stlmuni.org](http://www.stlmuni.org)  
"Like" us on Facebook  
Follow us on Twitter @munileagueSTL

# City of Cool Valley

100 Signal Hill Drive  
Cool Valley, MO 63121  
314-521-3500

August 2016

Dear Fellow Mayors,

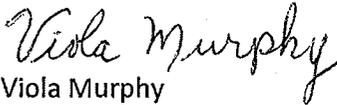
I am contacting you today for two reasons. First, as the representative of the group of cities that challenged SB 5, I want to thank the League and those cities that have helped us financially with our case. Secondly, I am again asking for your financial support for the legal team fighting for our collective interest against the full implementation of SB 5. Our primary challenges to SB 5 deals with the unfunded mandate and the singling out of St. Louis County municipalities. The requirement that St. Louis County Municipal Police Departments be certified without funding being provided by the State is a clear violation of the Hancock Amendment to the Missouri Constitution and the singling out of St. Louis County municipalities by reducing our percentage of general revenue from minor traffic violations to 12.5% while the rest of the State is 20% is a special law directed at our communities.

As you know we won the first round in State Court but unfortunately the State filed an appeal so we find ourselves again fighting against forces that neither understand nor care about our communities. The Municipal League of Metro St. Louis has assisted us both financially and with administrative support throughout the process. A number of cities have as well.

We are estimating that we need an additional \$45,000 for the appeal to the Supreme Court. I ask that you consider contributing a modest amount. If all 85 member municipalities contributed \$530 each or if 50 members sent in \$900 we would meet our needs.

Please do what you can to assist. All contributions should be sent directly to the League office and the checks can be made out to, Ballard Spahr L.L.C.

Thank you so much,

  
Viola Murphy  
City of Cool Valley

**UPCOMING MEETINGS/EVENTS**

<b>Monday, September 12<sup>th</sup></b>	Planning Commission (7:00 pm)
<b>Friday, September 16<sup>th</sup>-18<sup>th</sup></b>	Taste of St. Louis
<b>Monday, September 19<sup>th</sup></b>	Next City Council meeting (7:00 pm)
<b>Thursday, September 22<sup>nd</sup></b>	Planning and Public Works (5:30 pm)
<b>Monday, September 26<sup>th</sup></b>	Finance and Administration – Committee of the Whole (5:30 pm)

## **APPOINTMENT – CHESTERFIELD BLUE VALLEY CID BOARD OF DIRECTORS**

A vacancy exists on the Chesterfield Blue Valley CID (CBV) Board of Directors. As provided for in the CID petition and the Development agreement approved by Ordinance #2698, the Mayor appoints an individual to the Board with the consent of Council, from a recommended slate offered by the CBV CID Board.

The Board has recommended, and Mayor Nation has nominated Mr. Frank Schaeffer to the vacant board position. Mr. Schaeffer is the Premium Outlets Operations Director in St. Louis. The Mayor's nomination requires the "consent" of Council.

**As always, if you have any questions, Please contact Mayor Nations or me prior to Wednesday's meeting.**

**RESOLUTION NO. 2015-C**

**A RESOLUTION NOMINATING DIRECTOR OF THE CHESTERFIELD BLUE VALLEY COMMUNITY IMPROVEMENT DISTRICT**

**WHEREAS**, Emily Zimmermann has resigned from the Board of Directors (the "Board") of the Chesterfield Blue Valley Community Improvement District ("District"); and

**WHEREAS**, the Board wishes to nominate an individual to fill the vacant position on the Board who must be appointed by the Mayor of the City of Chesterfield with the consent of the City Council of the City of Chesterfield; and

**WHEREAS**, the Board has confirmed that Frank Schaffer is over the age of 18, is a Missouri resident and has been for over one year, is an employee and/or designated representative of Simon/Woodmont Development, LLC, the owner of real property and a business within the District, and otherwise meets the applicable criteria for Board membership.

**NOW, THEREFORE, BE IT RESOLVED BY THE CHESTERFIELD BLUE VALLEY COMMUNITY IMPROVEMENT DISTRICT:**

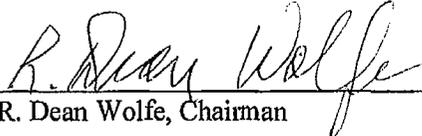
**SECTION 1.** Frank Schaffer be, and hereby is, nominated by the Board to fill the vacant position on the Board and shall serve on the Board for a term of three (3) years.

**SECTION 2.** Thomas B. Smallwood, General Counsel of the District, be, and hereby is, authorized to coordinate with the City of Chesterfield and take such other action necessary for the appointment of Frank Schaffer as Director of the District by the Mayor of the City of Chesterfield with the consent of the City Council of the City of Chesterfield.

**SECTION 3.** Upon appointment of Frank Schaffer as Director of the District by the Mayor of the City of Chesterfield with the consent of the City Council of the City of Chesterfield, he shall automatically become a member of the Board.

**ADOPTED** by the Board of Directors of the Chesterfield Blue Valley Community Improvement District this 29th day of September, 2015.

APPROVED:

  
\_\_\_\_\_  
R. Dean Wolfe, Chairman

ATTEST:

  
\_\_\_\_\_  
Marian Nunn, Secretary

---

**From:** Smallwood, Thomas B.  
**Sent:** Tuesday, August 09, 2016 11:23 AM  
**To:** 'Michael Herring'  
**Cc:** 'Pam Shelton'  
**Subject:** Chesterfield Blue Valley CID

Mike:

Last September, the CBV CID voted to appoint Frank Schaffer as a director of the CID to replace Emily Zimmerman, who moved to Chicago. I don't see that I ever followed-up with you after that meeting to get the appointment approved by the mayor. Frank is the Premium Outlets operations director in St. Louis. Attached is the CID's resolution appointing Frank, which includes his resume. Can you please seek approval of Frank's appointment by the city?

Let me know if you need anything else from me on this. I'll also send you an email about scheduling the CID's next meeting with the rest of the board. Thanks.

Tom

---

This electronic mail transmission and the information contained in it, or attached as a file to it, are intended for the exclusive use of the intended recipient(s). This email should be considered "unofficial communication" and does not necessarily reflect the official position of the City of Chesterfield. An "official position" of the City shall only be communicated in letter form, using City letterhead. The recipient should check this email and any attachments for the presence of viruses. The City of Chesterfield accepts no liability for any damage caused by any virus transmitted by this email.

Supervisor

- ◆ Repair all common area and rear employee area lighting from walkways to emergency lighting to exit lighting
- ◆ Perform all drain request from contractors for fire suppression sprinkler system and recharge once work is completed
- ◆ Perform monthly drain test of fire suppression sprinkler system
- ◆ Perform weekly generator test as well as monthly load transfer test to ensure proper operation

2011–2012 Simon Properties, King of Prussia Plaza King of Prussia, PA

**Engineer**

- ◆ Maintain appropriate logs as they pertain to the chiller operation as well as PM Logs and daily job log
- ◆ Responsible for reading and reporting of electric meters throughout the property
- ◆ Perform required PM's on all AHU and any VAV's maintained by engineering
- ◆ Monitor chiller operations through the use of computerized energy management systems in place
- ◆ Respond to initial hot or cold emergency calls from tenants; make necessary repairs and adjustments or report back to Supervisor
- ◆ Perform all drain request from contractors for fire suppression sprinkler system and recharge once work is completed
- ◆ Perform weekly generator test to ensure proper operation

2011–2011 Airkool, Inc. Philadelphia, PA

**Equipment repair and maintenance**

- ◆ Respond to emergency service calls within various customer locations; Philadelphia, PA, NJ and Delaware
- ◆ Responsible to troubleshoot, diagnose and repair issues with medium to low temperature refrigeration equipment
- ◆ Perform routine maintenance on commercial refrigeration and HVAC as well as residential HVAC
- ◆ Provide and maintain personal hands tools required to perform tasks assigned
- ◆ Perform daily inspection of work vehicle and maintain fluid levels

2004–2011 Lutheran High School Association St. Louis, MO

**Director of Facilities, Operations, and Grounds Management:**

- ◆ Manage all aspects of custodial, maintenance and grounds for two private Christian High Schools
- ◆ Responsible for the selection, training and performance management of, custodial, maintenance and grounds staff
- ◆ Implemented the "Custodial Tasking and Duties Handbook" in 2006
- ◆ Incorporated additional inspection tools to assist with Employee Appraisals for yearly evaluations and pay increases as well as develop the appraisal forms used by the Lutheran High School Association
- ◆ Worked with the staff on "Emergency Response Actions", utilizing the "MHSA (Missouri High School Association)'s ERIP (Emergency Response Information Plan)"
- ◆ Order, receive and maintain a 12-month inventory of custodial supplies
- ◆ Manage operating expenses, working within an assigned budget of \$300,000
- ◆ Acting project manager, managing small and large scale projects (remodel or otherwise) up to \$3,100,000.00
- ◆ Manage all aspects of transportation with 2 maintenance vans, 1 pick-up and a fleet of 8 school buses
- ◆ Implement, monitor, train and inspect all aspects of Facility Services (maintenance) to include but not limited to; custodial contracted services and in-house services, preventive maintenance, HVAC, plumbing, electrical, fire and burglar inspection repair, ground maintenance, gameday maintenance and day-to-day and emergency maintenance as well as performing the tasks outlined
- ◆ Streamlined grounds maintenance procedures for both schools including but not limited to in-house services (mowing, grooming,

feeding/seeding, Aerification, and clean-up) as well as contracted services, all set-ups for athletic events including district, conference, regional and state games

- ◆ Developed and maintain Preventive Maintenance records for both facilities
- ◆ Implemented "On-line" work order system of repair requests from faculty and staff
- ◆ Manage and maintain the Environmental Control System for both facilities
- ◆ Examined and implemented communication for transportation, monitoring the use of 27 cellular phones in administration, maintenance and transportation

2003–2004 Sweet Traditions, L.L.C. Krispy Kreme St. Louis, MO

### ***Facility Technician***

- ◆ Perform all maintenance aspects of 5 retail stores and 1 wholesale commissary
- ◆ Manage overtime service calls for individual stores to assist with Profit & Labor
- ◆ On site liaison for all contractor services, to include large scale projects
- ◆ Solicit bids, provide specifications for project, recommend contractors for various submittals
- ◆ Perform all aspects of Facility Services (maintenance) to include but not limited to the following; Preventive maintenance, HVAC, plumbing, electrical, fire inspection repair, day-to-day operations, and emergency response as necessary
- ◆ Develop Preventive Maintenance records for all facilities
- ◆ Completion of repair requests from stores via computerized incident reports, scheduled maintenance and cellular phone emergency calls

1996–2003 Webster Groves School District Webster Groves, MO

### ***Facility Supervisor***

- ◆ Manage all aspects of custodial and maintenance staff within the High School and Central Administration Office
- ◆ Responsible for the selection, training and performance management of, custodial, maintenance and grounds staff
- ◆ Design and implement the "Custodial Tasking and Duties Handbook"
- ◆ Incorporate additional inspection tools to assist with Employee Appraisals for yearly evaluations and pay increases
- ◆ Order, receive and maintain a 12-month inventory of custodial supplies
- ◆ Manage overtime expense reports for the Director of Operations
- ◆ On site liaison for all contractor services, to include large scale projects
- ◆ Manage facility use for the renters to include but not limited to the following; set-ups, breakdowns, custodial support and facility security
- ◆ Perform all aspects of Facility Services (maintenance) to include but not limited to the following; preventive maintenance, HVAC, plumbing, electrical, fire inspection repair, and day-to-day emergencies
- ◆ Developed and maintain Preventive Maintenance records for various facilities within the district
- ◆ Completion of a work order system of repair requests from faculty and staff
- ◆ Manage and maintain the Environmental Control System for the High School Facility

1994–1996 DRS Commercial Services Inc. Chesterfield, MO

### ***Service Foreman***

- ◆ Managed a small workforce of 5 Service Technicians, responsible for; interviewing, hiring and training of new Service Technicians
- ◆ Performed all aspects of Facility Services within the Foodservice Industry, mainly fast food with some full service restaurant

experience

- ◆ Established monthly training for Technicians, with guest speakers from various vendors and manufacturers
- ◆ Negotiated Service Contracts with Blockbuster, Inc. Applebee's, Fazoli's and Boston Market Restaurants

## **Education**

1990–1992 South County Technical Inst. St. Louis, MO

- ◆ Certification in HVAC/R.
- ◆ Level 1 & 2 Certification through RSES, ID #039403328
- ◆ R-410A Certification through Mainstream Engineering ID #6D12A04E8BF064E1
- ◆ Preventive Maintenance Tech Certification through Mainstream Engineering ID #74FAFA6E015D064E1

1996-Present AAIM Management Training, Inc. St. Louis, MO

- ◆ Becoming an Effective Leader
- ◆ Conducting a Successful Interview
- ◆ Understanding the Technical Employee
- ◆ Managing the Difficult Employee
- ◆ Business Writing for the Manager
- ◆ Understanding Negativity in the Workplace

## **Military**

1984–1989 U.S. Air Force USA

- ◆ Certified Security Police; AFSCII 811xx.
- ◆ Maintained Base Security utilizing Trained Tactics of Military Base Defense
- ◆ Stationed abroad for 13 months in Belgium and assigned as Security Support Force for Howard AFB in Panama during the 1988 Noriega uprising
- ◆ Helped two bases achieve high ratings on separate Inspector General Inspections due to exceptional performance of duties
- ◆ Awarded two Achievement Medals for outstanding service, one Commendation Medal for Duties in Panama and one Commendation for outstanding service while assigned duties at Cannon AFB, New Mexico.
- ◆ Earned Security Police Officer of the Year, runner-up in 1988 for outstanding service in Security Police duties

## **PLANNING AND PUBLIC WORKS**

The Planning and Public Works Committee met on Thursday August 18<sup>th</sup>, 2016. At that meeting, the Committee took several actions.

Bill #3110 P.Z. 04-2016 U.S. Ice Sports Complex and Valley Gates (Topgolf USA Chesterfield LLC) was recommended by PPW and is proposed for first reading under the Planning Commission Legislation section of the agenda.

The next meeting of the PPW Committee is scheduled for September 22<sup>nd</sup>, 2016 at 5:30 pm.

**Please note, the September 12<sup>th</sup> meeting of the Planning Commission has been relocated to the Doubletree to facilitate the expected level of public participation. The starting time for the meeting is unchanged at 7:00 p.m.**

If you have any questions, please contact me prior to Wednesday's meeting.

# MEMORANDUM

TO: Mike Geisel, City Administrator

FROM: Aimee Nassif, Planning and Development Services Director  
James Eckrich, Public Works Director/City Engineer

SUBJECT: Planning & Public Works Committee Meeting Summary  
Thursday, August 18, 2016



A meeting of the Planning and Public Works Committee of the Chesterfield City Council was held on Thursday, August 18, 2016 in Conference Room 101.

In attendance were: **Chair Dan Hurt** (Ward III), **Councilmember Barbara McGuinness** (Ward I), **Councilmember Bridget Nations** (Ward II) and **Councilmember Bruce DeGroot** (Ward IV).

Also in attendance were: Mayor Bob Nation; Planning Commission Chair Stanley Proctor; Aimee Nassif, Planning & Development Services Director; Jessica Henry, Project Planner; and Kathy Juergens, Recording Secretary.

The meeting was called to order at 5:31 p.m.

## I. APPROVAL OF MEETING SUMMARY

### A. Approval of the August 4, 2016 Committee Meeting Summary

**Councilmember DeGroot** made a motion to approve the Meeting Summary of August 4, 2016. The motion was seconded by **Councilmember McGuinness** and **passed by a voice vote of 3-0**. (*Councilmember Nations was not present for the vote.*)

## II. UNFINISHED BUSINESS - None

In anticipation of Councilmember Nations' arrival, Item IV Project Updates was presented next.

## IV. PROJECT UPDATES

Ms. Aimee Nassif, Planning and Development Services provided the following Project Updates:

### Ward 1:

- Brooking Park Village - seeking an amendment to their Conditional Use Permit to increase their dining room service. Public hearing is scheduled for September 12 at Planning Commission Meeting.

### Ward 2:

- 40 West Luxury Living-KU Development w/Mills Properties. New public hearing on September 12 to request zoning to a PUD.

- PZ 06-2016 Chesterfield Ridge Center. Text Amendment from existing ordinance for Chesterfield Village. Under review by Staff, issues meeting not yet set.

**Ward 4:**

- Boone's Crossing NE, Lot 1B (Midwest Regional Bank) – plans approved by Planning Commission on August 8.
- Bur Oaks - zoning and plans approved in 2015. Construction underway for the 35 lot subdivision from Pulte Homes.
- Beyond Self Storage –self storage facility. ARB recommended approval and will be on Planning Commission agenda Monday, August 22.

**Other development projects under review at various stages (including construction inspection) include, but are not limited to:**

- Arbors at Kehrs Mill
- Arbors at Wilmas Farm
- Rock and Brews
- Holiday Inn Express
- Bur Oaks
- Edison Express
- Bonhomme Church
- Friendship Village
- 116 S Greentrails
- Four Seasons-Panera
- Kraus Farm Center
- Schoettler Grove
- Warwick on White Road
- Raising Cane's restaurant
- Delmar Gardens III-Rabo Agrifinance
- Monsanto
- 318 N Eatherton
- AutoZone, 17505 Chesterfield Airport Rd
- Courtyard by Marriott
- Chesterfield Airport Service
- Chesterfield Blue Valley
- Verizon Wireless-17258 Chesterfield Airport Rd
- Harmony Seven
- Junior Achievement
- Monarch Center-sign package
- The Grove in Chesterfield

*Councilmember Nations arrived at 5:36 p.m.*

### III. NEW BUSINESS

- A. **P.Z. 04-2016 US Ice Sports Complex & Valley Gates (Topgolf USA Chesterfield LLC)**: A request for a zoning map amendment from an existing "PC" Planned Commercial District to a new "PC" Planned Commercial District for 22.22 acres located north of North Outer 40 Road and east of Boone's Crossing (17T510041, 17T520062, 17T520095, 17T520084). See Bill # 3110

#### **STAFF REPORT**

Jessica Henry, Project Planner, presented Topgolf USA's project request for a zoning map amendment from two separate existing "PC" Planned Commercial Districts to one new consolidated "PC" Planned Commercial District for a 22 acre site. This is the current site of the Hardee's Iceplex.

The Petitioner intends to develop the site into an entertainment complex including a golf driving range, restaurant, bar, meeting space and game area.

The Public Hearing for this request was held on June 27, 2016 and the Planning Commission Vote Meeting was held on August 8, 2016 where a recommendation for approval was passed by a vote of 8-1.

#### **Preliminary Plan**

The proposed plan features a three story building with a maximum of 60 feet in height. There is a large "outfield" area along the eastern portion of the site for the driving range. The driving range will be enclosed by poles and netting. The poles range in height from 90 to 170 feet. Parking will be on the western side of the site.

#### **Access**

The existing access into the development off of North Outer 40 Road will remain. Staff has included a requirement in Attachment A that cross access shall be provided to the properties to the east and west per City Code. The existing access to the Levee Trail will be relocated.

#### **PLANNING COMMISSION REPORT**

Stanley Proctor, Planning Commission Chair, reported that the only objection raised pertained to the 2 a.m. closing. However, it was pointed out that there are no restrictions on hours of operation for bars and restaurants located in Chesterfield Valley. Initially there was a concern about the height of the netting around the driving range, but after seeing photos of other facilities, there were no longer any objections.

#### **Discussion**

Due to a concern for live music being played until 2 a.m., Councilmember DeGroot inquired as to where the closest neighbor would be. Ms. Henry stated there is still one home east of Chesterfield Valley Nursery, but new residential developments are not permitted in Chesterfield Valley. The only other residential area would be across Chesterfield Airport Road behind Chesterfield Commons. Ms. Henry stated Topgolf would be subject to the noise requirements in the City Code. Ms. Aimee Nassif, Planning and Development Services Director, stated that hours of operation and hours for music for bars and restaurants in the Valley are not restricted. Hours of operation are only restricted to retail in the Valley.

With regard to the height of the netting around the driving range, Ms. Nassif stated restrictions for the height of the netting have been incorporated in Attachment A so that any future buildings for the site could not be as tall as the netting.

**Councilmember DeGroot made a motion to forward P.Z. 04-2016 US Ice Sports Complex & Valley Gates (Topgolf USA Chesterfield LLC) to City Council with a recommendation to approve.** The motion was seconded by Councilmember Nations and **passed** by a voice vote of 4-0.

**Note: One Bill, as recommended by the Planning Commission, will be needed for the September 8, 2016 City Council Meeting. See Bill # 3110**

**[Please see the attached report prepared by Aimee Nassif, Planning and Development Services Director, for additional information on P.Z. 04-2016 US Ice Sports Complex & Valley Gates (Topgolf USA Chesterfield LLC).]**

**IV. OTHER**

**V. ADJOURNMENT**

The meeting adjourned at 5:45 p.m.

# City Council Memorandum

## Department of Public Services



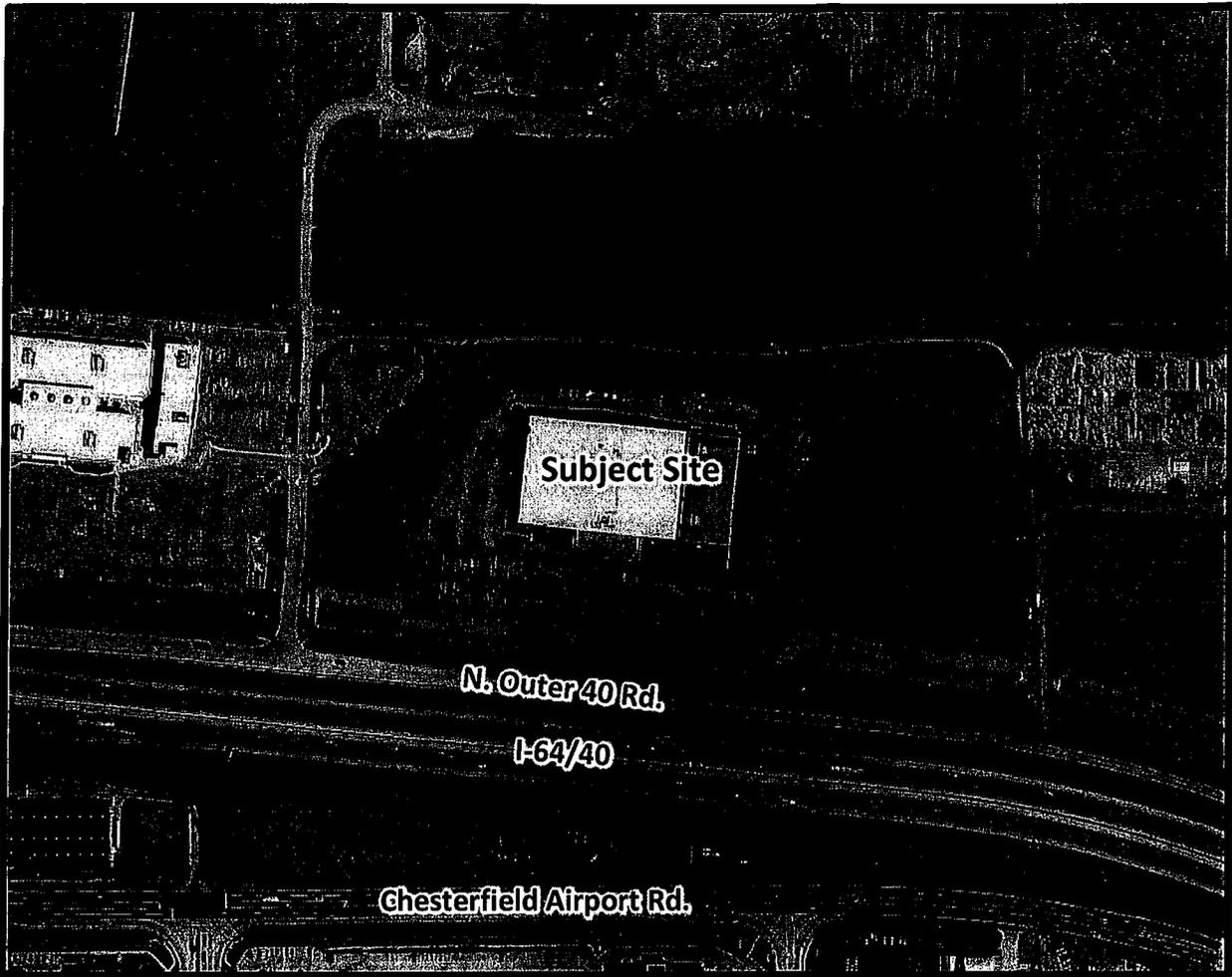
**To:** Michael O. Geisel, City Administrator  
**From:** Aimee Nassif, Planning and Development Services Director  
**Date:** August 25, 2016  
**CC Date:** September 7, 2016  
**Re:** **P.Z. 04-2016 US Ice Sports Complex & Valley Gates (Topgolf USA Chesterfield LLC)**: A request for a zoning map amendment from an existing "PC" Planned Commercial District to a new "PC" Planned Commercial District for 22.22 acres located north of North Outer 40 Road and east of Boone's Crossing (17T510041, 17T520062, 17T520095, 17T520084). See Bill #3110

### **Summary**

Topgolf USA Chesterfield LLC has submitted a request for a zoning map amendment from two separate existing "PC" Planned Commercial Districts to one new consolidated "PC" Planned Commercial District for the approximately twenty-two (22) acre subject site. The subject site is partially occupied by the Hardee's Iceplex and partially vacant. The developer intends to develop the subject site for an entertainment complex including a golf driving-range, restaurant, bar, meeting space, and game area. The Attachment A provided with this report includes a list of requested uses that would cover all of these proposed activities in addition to the other uses requested by the petitioner.

A Public Hearing was held on June 27, 2016 and the vote meeting was held on August 8, 2016. After discussion, there was a motion to add a restriction to the hours available for outdoor music which failed by a vote of 4-5. The Commission then recommended approval of the zoning map amendment as presented by a vote of 8-1.

This petition was reviewed by the Planning and Public Works Committee on August 18, 2016. The Committee voted 4-0 to forward the petition to City Council with a recommendation for approval. Attached to the legislation, please find a copy of the Attachment A and the Preliminary Plan.



**Figure 1. Aerial Photograph**

## **FINANCE AND ADMINISTRATION COMMITTEE**

The next meeting of the F&A Committee is scheduled for September 26<sup>th</sup>, 2016 at 5:30 pm.

This is scheduled to be the first work session, as the F&A Committee of the Whole, in preparation of the 2017 budget.

**If you have any questions, please contact Director of Finance Craig White or me prior to Wednesday's meeting.**

**GAMBLE SCHLEMEIER -**  
**GOVERNMENTAL RELATIONS SERVICES CONTRACT**

As previously discussed by City Council, the current contract for services with Gamble Schlemeier (Jeff Brooks) expired at the end of August. Enclosed within your packet is a proposed contract for 12 months of services, at a reduced rate of \$40,000 annually or \$3,333 monthly.

If the Council elects to continue these services, it will require an authorization for the City Administrator to execute the Government Relations Services Contract in the amount of \$40,000 and to fund same with a transfer from the General Fund - Fund Reserves above the 40% reserve policy threshold in a like amount.

**As always, if you have any questions or require additional information, please contact Mayor Nation or me prior to Wednesday's meeting.**

# GAMBLE & SCHLEMEIER, LTD.

## Governmental Relations Services Contract

This agreement, made as of September 8, 2016, is by and between the **City of Chesterfield, Missouri** (hereinafter "Client"), and **Gamble & Schlemeier, Ltd.**, 213 East Capitol Avenue, Jefferson City, Missouri, 65101 (hereinafter "Gamble"). By this agreement it is intended that Gamble will provide to Client governmental relations services, as an independent contractor, as governed by the terms and conditions set forth below.

The parties to this agreement, in consideration of the mutual covenants and stipulations set out herein below, agree as follows:

### Term and Scope of Services

Gamble will provide to Client the following services:

**Governmental relations services before the Missouri legislature and executive branch related to the establishment and maintenance, on behalf of Client, of contacts with members of the Missouri General Assembly; monitoring of pertinent legislation affecting Client's municipal interests; and preparation of or lobbying on behalf of legislation proposed in Client's interest, including without limitation, legislation affecting the St. Louis County municipal sales tax pooling requirements imposed by RSMo Section 66.620. Included in such services, during the legislative session, Gamble will provide to Client a written monthly summary of services performed on behalf of Client for the previous month. This agreement shall be in effect from the date first above stated through August 30, 2017.**

### Payment

Client agrees to pay Gamble:

A total fee of **\$40,000**, which shall be due and payable, in 12 equal monthly installments, upon the 15th day of each month, beginning in September 1, 2016.

No expense reimbursement shall be made for, and Client, shall not be obligated for, any expenses associated with employee retirement benefits, taxes (FICA, withholding or FUTA), unemployment insurance, workers' compensation insurance benefits, health insurance, office equipment, office expenses or repairs, maintenance or utilities, or other direct expense of the services provided by Gamble as consultant under this agreement.

### Independent Contractor Status

Neither Gamble, nor any of its subcontractors, employees or agents shall be deemed to be employees of Client, it being understood that Gamble is an independent contractor for all purposes and at all times. Gamble shall be solely responsible for withholding or payment of all federal, state and local personal income taxes, social security taxes, unemployment and disability insurance, and all other payroll taxes and obligations with respect to Gamble or its employees. It is the intent of the parties to this agreement that Gamble is retained based upon its expertise in governmental affairs consulting. Therefore, Gamble shall have complete control and discretion in choosing the appropriate means, manner and methods for providing the services hereunder; Client shall exercise no supervisory or other control over the means, manner and method by which Gamble provides such services. Further, Client acknowledges that Gamble may and will be providing the same or similar services to other entities and Gamble

GAMBLE & SCHLEMEIER, LTD.

acknowledges that Client may retain or employ additional management or governmental affairs consultants.

This instrument contains the entire agreement between the parties and no statement, promise or inducement made by either party or agent of either party that is not contained in this written agreement shall be valid or binding. This agreement may not be enlarged, modified or altered except in writing signed by the parties. This agreement shall inure to the benefit of and be binding only upon Gamble and Client. This agreement is entered into between the parties in the state of Missouri and shall be subject to interpretation and construction according to the internal laws of the state of Missouri.

IN WITNESS WHEREOF, the parties hereto have set their hands the day aforesaid.

Gamble:  
Gamble & Schlemeier, Ltd.

Client:  
City of Chesterfield, Missouri

\_\_\_\_\_  
Jorgen Schlemeier, authorized officer

\_\_\_\_\_

## Mike Geisel

---

**From:** Jeff Brooks <jeff@molobby.com>  
**Sent:** Monday, August 22, 2016 12:47 PM  
**To:** Mike Geisel; Chris Graville; Bob Nation  
**Cc:** Bob Nation (rsnation@aol.com)  
**Subject:** Gamble & Schlemeier - 2017 Missouri Legislative Session - St. Louis Zoo Association

Gentlemen, I want to let you know that our firm was very recently hired to represent the St. Louis Zoo Association. The zoo is currently looking at options for additional revenue, including legislative authority to seek a voter-approved, up to 1/8th cent sales tax increase in St. Louis County, St. Louis City, St. Charles County, Jefferson County and/or Franklin County. Last year, a different group representing the zoo faced heavy criticism for attempting to pass such measure using amendment tactics, possibly designed to avoid a public hearing or certain public scrutiny. In part, I believe our firm is being hired this year to help ensure the process is more open, transparent and subject to legislative and public debate. Such debate will include input from stakeholders, such as Chesterfield and other St. Louis County municipalities. I will likely have a direct role in this effort and want to make sure you were made aware. Please feel free to call me to discuss any questions or thoughts you may have regarding this matter. Thank you very much.

Jeff Brooks  
Gamble & Schlemeier  
(314) 941-9235  
[jeff@molobby.com](mailto:jeff@molobby.com)

## **BID RESULTS – KEHRS MILL LANDSCAPE ENHANCEMENTS**

As detailed in the enclosed memorandum prepared by Public Works Director\City Engineer Jim Eckrich, bids were received and publicly opened for the Kehrs Mill Landscape Enhances as proposed and funded by the Chesterfield Valley Transportation Development District.

Based upon a review of the information contained within said memo, **I join with Mr. Eckrich in recommending acceptance of the lowest and best bid as submitted by Gershenson Construction, and to authorize a contract for this work in an amount not to exceed \$552,466.** This project is fully funded by the Chesterfield Valley Transportation Development District.

**As always, if you have any questions, please contact Director of Public Works\City Engineer Jim Eckrich or me, PRIOR to Wednesday's meeting.**

**DATE:** August 26 2016

**TO:** Michael O. Geisel, P.E.  
City Administrator

**FROM:** James A. Eckrich, P.E. *JAE*  
Public Works Director / City Engineer

**RE:** Kehrs Mill Road Monument and  
Landscape Enhancements Project



---

As you know, the Chesterfield Valley Transportation Improvement District previously initiated a multi-phase project to improve and reconfigure the Kehrs Mill Road, Wild Horse Creek Road, and Long Road intersections. The most recent phase, completed in 2013, was the realignment of Kehrs Mill Road just south of the intersection to improve / soften the curvature of that roadway. The final phase is the beautification of the intersection, which will include a monument and landscape enhancements, as detailed in the attached memorandum from Todd Ohmes.

The Department of Public Services publicly opened bids for the Kehrs Mill Road Monument and Landscape Enhancements Project on August 24, 2016. The results of the bid opening are detailed in the attached memorandum from Civil Engineer Todd Ohmes. After reviewing the bids, Staff recommends the project be awarded to the low bidder, Gershenson Construction, in an amount not to exceed \$552,466. This includes the low bid (\$502, 242) and a modest contingency. **All costs will be reimbursed by the TDD, and there will be no impact to the City of Chesterfield 2016 Budget.**

You will note that the low bid is approximately 22 percent above the Engineer's Estimate completed by HR Green. This is primarily due to bid amounts for Mobilization and Masonry coming in higher than anticipated. While the low bid is higher than anticipated, there were three bidders for the project and appear to be no bid irregularities. The City Staff does not believe that costs would be reduced by re-advertising and re-bidding the project. Additionally, City Staff has contacted legal counsel for the TDD who has confirmed that TDD funds are available for the recommended amount.

**Action Recommended**

This matter should be forwarded to the City Council for consideration. Should Council concur with Staff's recommendation, it should authorize the City Administrator to enter into an Agreement with Gershenson Construction in an amount not to exceed \$552,466. Again, all costs will be reimbursed by the TDD.

Concurrence:

*Craig White*  
\_\_\_\_\_  
Craig White, Finance Director

# Memorandum

## Department of Public Services



**TO: Jim Eckrich – Public Works Director/City Engineer**

**FROM: Todd Ohmes – Civil Engineer**

**DATE: August 26, 2016**

**RE: Kehrs Mill Road Landscape Enhancements  
2014-PW-05**

---

As you are aware, the Chesterfield Valley TDD initiated the reconfiguration of the Kehrs Mill Road, Wild Horse Creek Road, and Long Road intersections as one of its originally approved transportation projects. This project was subsequently executed in multiple phases, with the most recent phase being the realignment of Kehrs Mill Road just south of the new intersection, completed at the end of 2013. The final phase of this project is the construction of a monument and beautification of the intersection. HR Green was awarded a contract to design this project, while City staff undertook the process of acquiring the property, which was comprised of private property, MoDOT right of way, and St. Louis County right of way. The design and property acquisition were recently completed, and an artist rendering of the project is attached, along with a site map of the monument's location. Under the terms of the TDD agreement, the City of Chesterfield provides the project management for the design and execution of this project phase, while the TDD is responsible for all project costs.

Sealed bids for the construction project were opened on August 24, 2016 at 10:00 am. There were three (3) bidders on the project; Tramar Contracting, Ideal Landscape Construction, and Gershenson Construction. Gershenson Construction is the lowest, responsive and responsible bidder with a bid of \$502,242.39 (bid attached). Gershenson Construction has successfully completed projects for the City in the past, and is positively recommended by City staff.

As the attached bid tabulation details, the Engineer's Estimate prepared by the consultant was well below all submitted bids. It appears the cost of constructing the masonry items was much higher than anticipated, along with the cost of mobilizing equipment and material. However, the submission of three bids in a competitive nature assures a fair market cost of construction. I have no reason to believe

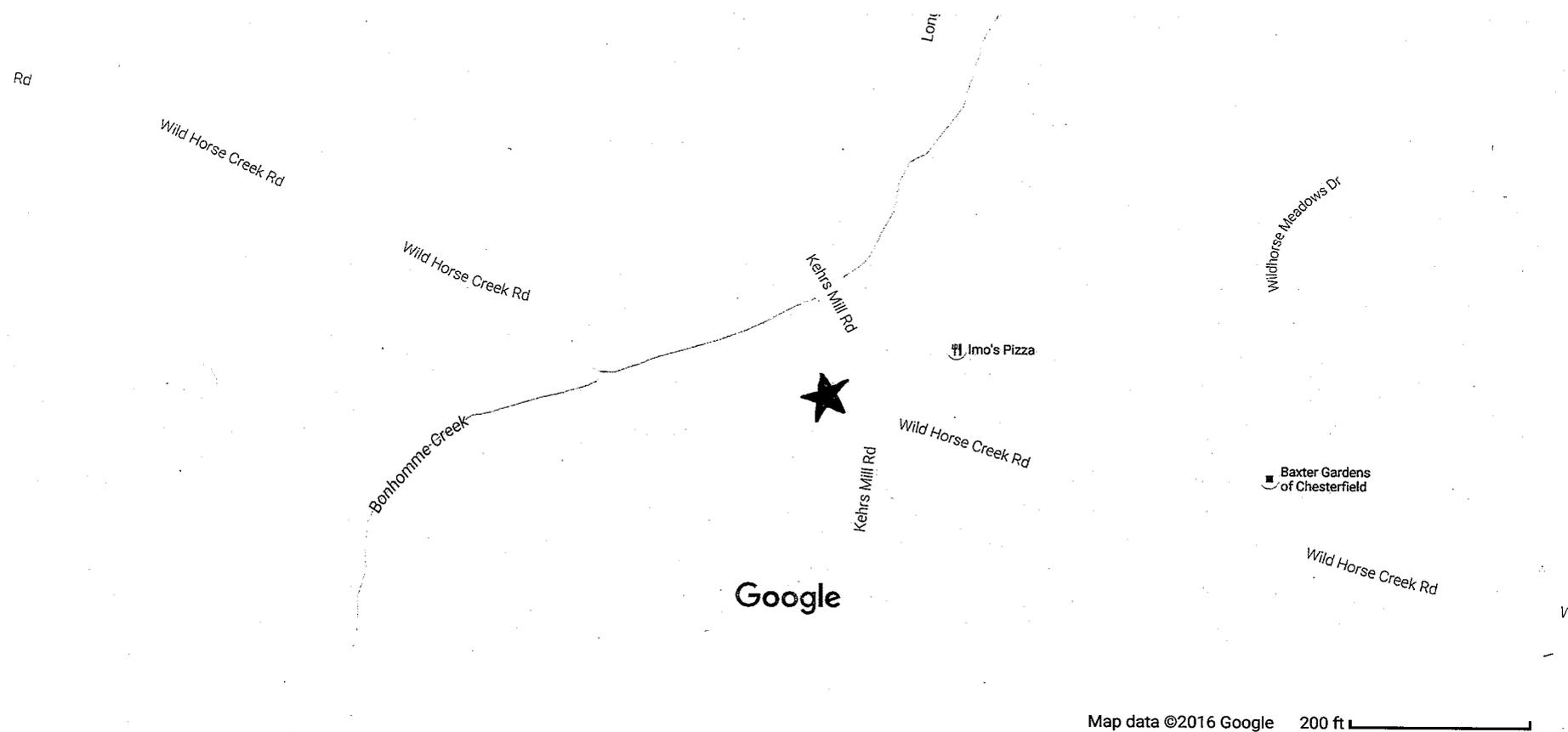
rejecting all bids and re-advertising will produce a bid less than the Engineer's Estimate.

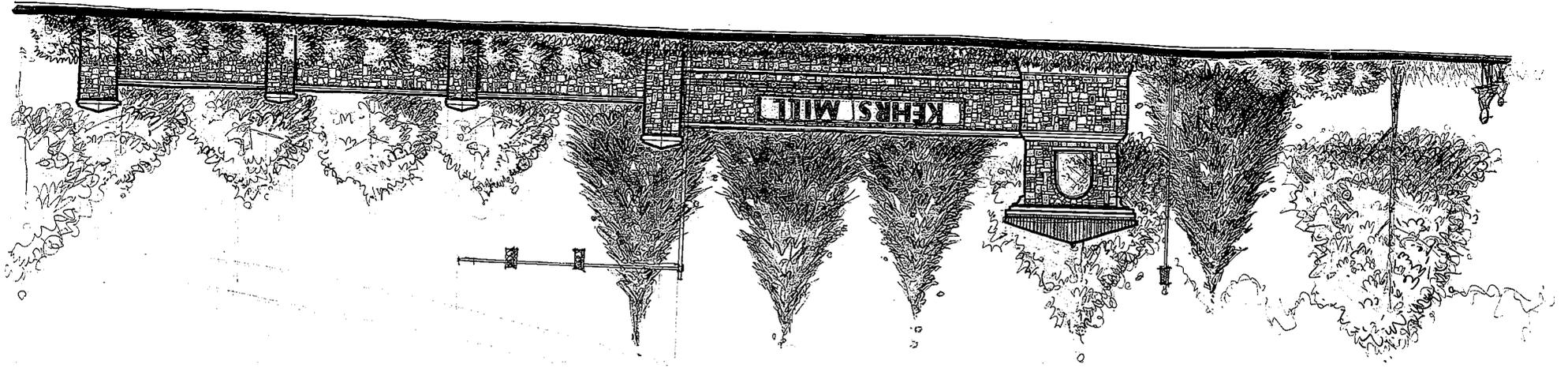
**Therefore, I recommend requesting authorization to enter into an agreement with Gershenson Construction for the Kehrs Mill Road Landscape Enhancement project in an amount not to exceed \$552,466.00.** This amount includes a modest contingency to allow for any unforeseen conditions and/or additional work as may be necessary to complete this project.

All project costs will be reimbursed by the Chesterfield Valley Transportation District, with no financial impact to the City of Chesterfield budget.

Attachments:     Artist Rendering  
                      Site Map  
                      Gershenson Construction Bid  
                      Kehrs Mill Road Landscape Enhancements Bid Tabulation

Cc:                 Project File 2014-PW-05





CONCEPT 'A' ELEVATION  
1"=5'-0"

**SCHEDULE OF PRICES - COMPLETE TABLE AS INDICATED**

	PAY ITEM	UNITS	UNIT COST	QUANTITY	TOTAL COST
<b>A.</b>	<b>Mobilization</b>				
1	Mobilization	LS	44,700.00	1	44,700.00
	Sub-Total A				44,700.00
<b>B.</b>	<b>Removals/Demolition</b>				
1	Removal of CMU Block Retaining Wall – Haul Off	LS	3340.00	1	3340.00
2	Removal of Metal Railing/Sidewalk Patching – Haul Off	LS	1573.00	1	1573.00
3	Remove Excess Guardrail/Post Supports – Haul Off	LF	15.40	52	800.80
4	Clearing for Water Line Extension	LS	897.00	1	897.00
	Sub-Total B				6610.80
<b>C.</b>	<b>Earthwork/Erosion Control</b>				
1	On-Site Earth Excavation, Import Fill & Topsoil, Topsoil Respread	CY	22.70	1,100	24970.00
2	15" RCP Culvert	LF	88.80	28	2486.40
3	15" Flaired-End-Sections	EA	800.00	2	1600.00
4	Inlet Protection	EA	160.00	3	480.00
5	Silt Fence	LF	4.30	185	795.50
6	Erosion Control Blanket	SF	0.31	2,466	764.46
7	Tree Protection Fencing	LF	5.10	80	408.00
8	3' Geofoam Light Weight Fill	CY	132.00	54	7128.00
	Sub-Total C				38632.36
<b>D.</b>	<b>Retaining Wall</b>				
1	CMU Block, Modular Retaining Wall, Gravel Backfill, Filter Fabric and Drain Tile	FSF	27.80	1,470	40866.00
2	Metal Railing	LF	73.00	198	14454.00
	Sub-Total D				55320.00
<b>E.</b>	<b>Monument Wall/Signage/Tower</b>				
1	Block Walls, Columns, Signage, and Tower with Stone Veneer, Cut Stone Caps and Ledgestones	LS	96,130.00	1	96,130.00
2	Footing Excavation	CY	22.60	155	3503.00
3	Concrete Footing with Reinforcement	CY	72.00	30	2160.00
4	Tower Cap and Roofing	LS	31,240.00	1	31,240.00
5	Tower Door/Gravel Floor	LS	3,189.00	1	3,189.00
	Sub-Total E				134,322.00
<b>F.</b>	<b>Landscaping</b>				
1	Apple Serviceberry, 8' Ht.	EA	238.00	5	1,190.00
2	Chinkapin Oak, 3½" Cal.	EA	385.00	3	1,155.00
3	White Spruce, 10' Ht.	EA	661.00	3	1,983.00
4	Summersweet, #5 Cont.	EA	41.50	11	456.50
5	Show Off Sugar Baby Forsythia, #3B Cont.	EA	38.00	18	704.00

6	Little Lime Hydrangea, #3B Cont.	EA	\$43.30	22	\$952.60
7	Green Velvet Boxwood, #5 Cont.	EA	\$34.80	13	\$452.40
8	Rosy Returns Daylily, #1 Cont.	EA	\$13.10	60	\$786.00
9	Creeping Lilyturf Pint (12/Flat)	EA	\$3.75	2727	\$10,226.25
10	Prairie Dropseed, #1 Cont.	EA	\$7.20	33	\$237.60
11	Annuals (48/Flat)	EA	\$1.15	1470	\$1,690.50
12	Sod (Fescue)	SY	\$6.15	37	\$227.55
13	Fescue Seed	SY	\$1.15	713	\$819.45
14	Compost Mulch, 3" Depth	CY	\$51.40	23	\$1,182.20
15	Hardwood Mulch, 3" Depth	CY	\$58.90	27	\$1,590.30
	Sub-Total F				\$24,725.35
<b>G. Guardrail</b>					
1	Re-Install Guardrail, Anchor Section and ET-2000 with Post Supports	LS	\$802.00	1	\$802.00
	Sub-Total G				\$802.00
<b>H. Electrical Service</b>					
1	Conduit, Wire Trenching from Power Pole to Back of Wall, Meter Housing/Mounting, and Panel	LS	\$6763.00	1	\$6763.00
	Sub-Total H				\$6763.00
	<b>Sub Total Construction Bid</b>				\$435,645.51
<b>I. Irrigation</b>					
1	Irrigation System Design	LS	\$1.05	1	\$1.05
2	2" Service Line (HDPE) and Restoration	LF	\$22.70	784.88	\$17,811.76
3	Direction Drill - 2" HDPE Water Main Under Creek	LF	\$32.90	130	\$4,277.00
4	Water Meter/Vault (12" tap by Missouri American Water)	LS	\$10,810.00	1	\$10,810.00
5	Backflow Prevention Device (Inside Tower)	LS	\$1,926.00	1	\$1,926.00
6	Wiring/Electrical	LS	\$1.05	1	\$1.05
7	Controller - Mounted to Inside Tower Wall	LS	\$481.00	1	\$481.00
8	Irrigation Sprinkler Heads, Piping, Fittings, Remote Control Valves - All Inclusive	LS	\$6931.00	1	\$6931.00
	Sub-Total I				\$42,251.88
<b>J. Lighting</b>					
1	Lighting Design	LS	\$3745.00	1	\$3745.00
2	Lighting System, All Inclusive: Fixtures, Mounting, Wiring, Conduit, Controller, Interior Functional Lights, Outlet, Hook-Up to Panels, Testing, Etc.	LS	\$20,600.00	1	\$20,600.00
	Sub-Total J				\$24,345.00
	<b>Sub-Total Design and Construction Bid</b>				\$502,242.39
	<b>PROJECT BID TOTAL</b>				\$502,242.39



Bid Tabulation  
 Kehrs Mill Road Landscape Enhancements  
 2014-PW-05  
 August 24, 2016

Item #	DESCRIPTION	UNITS	QUANTITY	Engineer's Estimate		Gershenson Construction		Ideal Landscape Construction		Tramar Constructing	
				UNIT COST	TOTAL COST	UNIT COST	TOTAL COST	UNIT COST	TOTAL COST	UNIT COST	TOTAL COST
A.1	Mobilization	LS	1	\$5,000.00	\$5,000.00	\$44,700.00	\$44,700.00	\$54,000.00	\$54,000.00	\$113,000.00	\$113,000.00
B.1	Removal of CMU Block Retaining Wall – Haul Off	LS	1	\$5,000.00	\$5,000.00	\$3,340.00	\$3,340.00	\$5,000.00	\$5,000.00	\$5,000.00	\$5,000.00
B.2	Removal of Metal Railing/Sidewalk Patching – Haul Off	LS	1	\$2,500.00	\$2,500.00	\$1,573.00	\$1,573.00	\$2,500.00	\$2,500.00	\$5,000.00	\$5,000.00
B.3	Remove Excess Guardrail/Post Supports – Haul Off	LF	52	\$75.00	\$3,900.00	\$15.40	\$800.80	\$25.00	\$1,300.00	\$30.00	\$1,560.00
B.4	Clearing for Water Line Extension	LS	1	\$5,000.00	\$5,000.00	\$897.00	\$897.00	\$3,500.00	\$3,500.00	\$8,000.00	\$8,000.00
C.1	On-Site Earth Excavation, Import Fill & Topsoil, Topsoil Respread	CY	1,100	\$15.50	\$17,050.00	\$22.70	\$24,970.00	\$45.00	\$49,500.00	\$37.00	\$40,700.00
C.2	15" RCP Culvert	LF	28	\$55.00	\$1,540.00	\$88.80	\$2,486.40	\$75.00	\$2,100.00	\$65.00	\$1,820.00
C.3	15" Flaired-End-Sections	EA	2	\$850.00	\$1,700.00	\$800.00	\$1,600.00	\$750.00	\$1,500.00	\$750.00	\$1,500.00
C.4	Inlet Protection	EA	3	\$315.00	\$945.00	\$160.00	\$480.00	\$75.00	\$225.00	\$250.00	\$750.00
C.5	Silt Fence	LF	185	\$3.65	\$675.25	\$4.30	\$795.50	\$3.00	\$555.00	\$6.00	\$1,110.00
C.6	Erosion Control Blanket	SF	2,466	\$0.56	\$1,380.96	\$0.31	\$764.46	\$1.00	\$2,466.00	\$2.00	\$4,932.00
C.7	Tree Protection Fencing	LF	80	\$5.00	\$400.00	\$5.10	\$408.00	\$5.00	\$400.00	\$7.00	\$560.00
C.8	3' Geofoam Light Weight Fill	CY	54	\$100.00	\$5,400.00	\$132.00	\$7,128.00	\$150.00	\$8,100.00	\$400.00	\$21,600.00
D.1	CMU Block, Modular Retaining Wall, Gravel Backfill, Filter Fabric and Drain Tile	FSF	1,470	\$39.00	\$57,330.00	\$27.80	\$40,866.00	\$30.00	\$44,100.00	\$40.00	\$58,800.00
D.2	Metal Railing	LF	198	\$16.00	\$3,168.00	\$53.00	\$10,494.00	\$75.00	\$14,850.00	\$100.00	\$19,800.00
E.1	Block Walls, Columns, Signage, and Tower with Stone Veneer, Cut Stone Caps and Ledgestones	LS	1	\$155,000.00	\$155,000.00	\$196,130.00	\$196,130.00	\$235,000.00	\$235,000.00	\$250,000.00	\$250,000.00
E.2	Footing Excavation	CY	155	\$32.00	\$4,960.00	\$22.60	\$3,503.00	\$10.00	\$1,550.00	\$40.00	\$6,200.00
E.3	Concrete Footing with Reinforcement	CY	30	\$625.00	\$18,750.00	\$723.00	\$21,690.00	\$500.00	\$15,000.00	\$500.00	\$15,000.00
E.4	Tower Cap and Roofing	LS	1	\$8,000.00	\$8,000.00	\$37,540.00	\$37,540.00	\$33,000.00	\$33,000.00	\$49,000.00	\$49,000.00
E.5	Tower Door/Gravel Floor	LS	1	\$3,250.00	\$3,250.00	\$3,189.00	\$3,189.00	\$2,000.00	\$2,000.00	\$6,000.00	\$6,000.00
F.1	Apple Serviceberry, 8' Ht.	EA	5	\$400.00	\$2,000.00	\$238.00	\$1,190.00	\$350.00	\$1,750.00	\$245.00	\$1,225.00
F.2	Chinkapin Oak, 3½" Cal.	EA	3	\$725.00	\$2,175.00	\$385.00	\$1,155.00	\$500.00	\$1,500.00	\$400.00	\$1,200.00
F.3	White Spruce, 10' Ht.	EA	3	\$600.00	\$1,800.00	\$661.00	\$1,983.00	\$500.00	\$1,500.00	\$700.00	\$2,100.00
F.4	Summersweet, #5 Cont.	EA	11	\$67.50	\$742.50	\$41.50	\$456.50	\$75.00	\$825.00	\$43.00	\$473.00
F.5	Show Off Sugar Baby Forsythia, #3B Cont.	EA	18	\$65.00	\$1,170.00	\$38.00	\$684.00	\$75.00	\$1,350.00	\$42.00	\$756.00
F.6	Little Lime Hydrangea, #3B Cont.	EA	22	\$69.00	\$1,518.00	\$43.30	\$952.60	\$0.00	\$0.00	\$45.00	\$990.00
F.7	Green Velvet Boxwood, #5 Cont.	EA	13	\$85.00	\$1,105.00	\$34.80	\$452.40	\$75.00	\$975.00	\$36.00	\$468.00
F.8	Rosy Returns Daylily, #1 Cont.	EA	60	\$17.00	\$1,020.00	\$13.10	\$786.00	\$15.00	\$900.00	\$13.00	\$780.00



Bid Tabulation  
 Kehrs Mill Road Landscape Enhancements  
 2014-PW-05  
 August 24, 2016

Item #	DESCRIPTION	UNITS	QUANTITY	Engineer's Estimate		Gershenson Construction		Ideal Landscape Construction		Tramar Constructing	
				UNIT COST	TOTAL COST	UNIT COST	TOTAL COST	UNIT COST	TOTAL COST	UNIT COST	TOTAL COST
F.9	Creeping Lilyturf Pint (12/Flat)	EA	2727	\$8.30	\$22,634.10	\$3.75	\$10,226.25	\$8.00	\$21,816.00	\$4.00	\$10,908.00
F.10	Pralrie Dropseed, #1 Cont.	EA	33	\$21.50	\$709.50	\$7.20	\$237.60	\$10.00	\$330.00	\$8.00	\$264.00
F.11	Annuals (48/Flat)	EA	1470	\$0.65	\$955.50	\$1.65	\$2,425.50	\$5.00	\$7,350.00	\$2.00	\$2,940.00
F.12	Sod (Fescue)	SY	37	\$5.25	\$194.25	\$6.15	\$227.55	\$8.00	\$296.00	\$10.00	\$370.00
F.13	Fescue Seed	SY	713	\$1.85	\$1,319.05	\$1.65	\$1,176.45	\$2.50	\$1,782.50	\$3.00	\$2,139.00
F.14	Compost Mulch, 3" Depth	CY	23	\$48.00	\$1,104.00	\$51.40	\$1,182.20	\$75.00	\$1,725.00	\$53.00	\$1,219.00
F.15	Hardwood Mulch, 3" Depth	CY	27	\$70.00	\$1,890.00	\$58.90	\$1,590.30	\$75.00	\$2,025.00	\$61.00	\$1,647.00
G.1	Re-Install Guardrail, Anchor Section and ET-2000 with Post Supports	LS	1	2700	\$2,700.00	\$802.00	\$802.00	\$7,500.00	\$7,500.00	\$3,000.00	\$3,000.00
H.1	Conduit, Wire Trenching from Power Pole to Back of Wall, Meter Housing/Mounting, and Panel	LS	1	\$5,750.00	\$5,750.00	\$6,763.00	\$6,763.00	\$12,000.00	\$12,000.00	\$8,000.00	\$8,000.00
I.1	Irrigation System Design	LS	1	\$1,000.00	\$1,000.00	\$1.05	\$1.05	\$500.00	\$500.00	\$500.00	\$500.00
I.2	2" Service Line (HDPE) and Restoration	LF	784.88	\$10.00	\$7,848.80	\$22.70	\$17,816.78	\$10.00	\$7,848.80	\$22.00	\$17,267.36
I.3	Direction Drill – 2" HDPE Water Main Under Creek	LF	130	\$55.00	\$7,150.00	\$32.90	\$4,277.00	\$40.00	\$5,200.00	\$110.00	\$14,300.00
I.4	Water Meter/Vault (12" tap by Missouri American Water)	LS	1	\$5,100.00	\$5,100.00	\$10,810.00	\$10,810.00	\$500.00	\$500.00	\$11,000.00	\$11,000.00
I.5	Backflow Prevention Device (Inside Tower)	LS	1	\$4,500.00	\$4,500.00	\$1,926.00	\$1,926.00	\$750.00	\$750.00	\$2,500.00	\$2,500.00
I.6	Wiring/Electrical	LS	1	\$2,500.00	\$2,500.00	\$1.05	\$1.05	\$1,000.00	\$1,000.00	\$2,000.64	\$2,000.64
I.7	Controller – Mounted to Inside Tower Wall	LS	1	\$2,600.00	\$2,600.00	\$481.00	\$481.00	\$1,500.00	\$1,500.00	\$1,000.00	\$1,000.00
I.8	Irrigation Sprinkler Heads, Piping, Fittings, Remote Control Valves – All Inclusive	LS	1	\$20,750.00	\$20,750.00	\$6,939.00	\$6,939.00	\$7,000.00	\$7,000.00	\$13,000.00	\$13,000.00
J.1	Lighting Design	LS	1	\$1,000.00	\$1,000.00	\$3,745.00	\$3,745.00	\$1,000.00	\$1,000.00	\$4,000.00	\$4,000.00
J.2	Lighting System; All Inclusive: Fixtures, Mounting, Wiring, Conduit, Controller, Interior Functional Lights, Outlet, Hook-Up to Panels, Testing, Etc.	LS	1	\$10,000.00	\$10,000.00	\$20,600.00	\$20,600.00	\$14,000.00	\$14,000.00	\$22,000.00	\$22,000.00
<b>TOTAL BID</b>					\$412,184.91		\$502,242.39		\$579,569.30		\$736,379.00

## **BID RESULTS - 2016 ACCESSIBLE RAMP IMPROVEMENTS**

As detailed in the enclosed memorandum prepared by Public Works Director\City Engineer Jim Eckrich, bids were received and publicly opened for the construction of the City's 2016 Accessible Ramp Improvement Project. Each year, the City participates in the Community Development Block Grant program in furtherance of removing architectural barriers. Each year the City receives CDBG funding to replace non-conforming sidewalk ramps with new ADA (Americans with Disabilities Act) compliant sidewalk ramps.

Based upon a review of the information contained within said memo, **I join with Mr. Eckrich in recommending acceptance of the lowest and best bid as submitted by R.V. Wagner, and to authorize a contract for this work in an amount not to exceed \$41,900.** This project is within budget and fully funded by CDBG Grant funds.

**As always, if you have any questions, please contact Director of Public Works\City Engineer Jim Eckrich or me, PRIOR to Wednesday's meeting.**



**DATE:** August 25, 2016

**TO:** Michael O. Geisel, P.E.  
City Administrator

**FROM:** James A. Eckrich, P.E. *JAE*  
Public Works Director / City Engineer

**RE:** 2016 Accessible Ramp Improvement Project

---

On August 24, 2016 the Department of Public Services publicly opened bids for the 2016 Accessible Sidewalk Ramp Improvement Project. Three bids were received, as detailed in the attached memorandum from Project Manager Matt Dooley. The lowest bid was submitted by R.V. Wagner. R.V. Wagner has successfully performed work for the City of Chesterfield in the past, and is positively recommended by City Staff. This year the sidewalk ramp improvements will be constructed in the Nooning Tree subdivision.

The City's annual sidewalk ramp improvement projects are funded through the Community Development Block Grant (CDBG) program administered by St. Louis County. In 2016 the City of Chesterfield is eligible for \$41,900 in CDBG funding. While there are a number of ways a city can use CDBG funds, we believe the sidewalk ramp improvement program is the most appropriate, as it not only benefits many residents, but it allows the City of Chesterfield to work toward compliance with the Americans with Disabilities Act.

**I recommend acceptance of the low bid, as submitted by R.V. Wagner, in the amount of \$40,669.35, with a funding authorization in an amount not to exceed \$41,900.** This will allow construction of the Base Bid, Alternate 1, Alternate 2, and a modest contingency should change orders become necessary. This entire project will be funded through the CDBG Program, and there will be no cost to the City of Chesterfield.

Should you have any questions, or require additional information, please let me know.

Concurrence: *Craig White*  
Craig White, Finance Director

cc: Michael O. Geisel, Director of Public Services  
File 2016-PW-02

# MEMORANDUM

**DATE:** August 24, 2016  
**TO:** James Eckrich, Public Works Director  
**FROM:** Matt Dooley, Project Manager   
**SUBJECT:** 2016 Accessible Ramp Improvements (2016-PW-02)



As you are aware, each year the City of Chesterfield is eligible for Community Development Block Grant funding through St. Louis County. While there are a number of eligible uses for CDBG funds, the City of Chesterfield has elected to utilize these funds to reconstruct sidewalk ramps to meet the standards defined within the Americans with Disabilities Act (ADA). This year the total funding available to the City of Chesterfield, through the CDBG program, is \$41,900. No local match is required.

City Staff typically defines a scope of work based upon the number of ramps we believe can be constructed based upon the amount of funding we believe will be available. This is referred to as the Base Bid. Should additional funding become available, we also create "Alternates" which allow us to increase the scope of the project if the bids received are favorable. In this case the Base Bid and all alternates are located within the Nooning Tree Subdivision.

On August 24, 2016 the City of Chesterfield publicly opened bids for the above-described CDBG sidewalk ramp project. A summary of those bids is as follows:

Contractor	Base Bid	Alt#1	Alt#2	Alt#3	Alt#4	Alt#5	Total Bid
R.V. Wagner	\$25,911.25	\$8,223.20	\$6,534.90	\$ 7,502.90	\$9,872.70	\$11,725.00	\$69,769.95
Amcon Municipal Concrete	\$33,460.00	\$9,370.00	\$6,895.00	\$8,295.00	\$12,462.50	\$15,365.00	\$85,847.50
Concrete Design	\$37,047.64	\$12,244.20	\$7,872.06	\$8,724.95	\$11,796.91	\$16,223.17	\$93,908.93

Based upon the bids received, the City of Chesterfield can construct the Base Bid and Alternates #1 and #2, at an estimated cost of \$40,669.35. The low bidder for this scope, R.V. Wagner, has successfully performed this type of work in the past. Accordingly, we recommend acceptance of the low total bid of \$40,669.35 submitted by R.V. Wagner and request authorization of work up to the amount of the available funding, \$41,900. The above contract amount covers the Base Bid, Alternate #1, Alternate #2, and a modest contingency.

Should you require additional information, please advise.

cc: 2016-PW-02 File



**BID TABULATION  
2016 ACCESSIBLE RAMP IMPROVEMENTS  
2016-PW-02**

ITEM #	DESCRIPTION	UNITS	QUANTITY	ENGINEER'S ESTIMATE		R.V. Wagner		Amcon Municipal Concrete		Concrete Design	
				UNIT PRICE	EXTENDED PRICE	UNIT PRICE	EXTENDED PRICE	UNIT PRICE	EXTENDED PRICE	UNIT PRICE	EXTENDED PRICE
1	Remove Sidewalk	Sq. Ft.	1016	\$4.00	\$4,064.00	\$4.15	\$4,216.40	\$7.50	\$7,620.00	\$6.56	\$6,664.96
2	Replace / Install 4" Sidewalk	Sq. Ft.	1281	\$8.50	\$10,888.50	\$10.85	\$13,898.85	\$15.00	\$19,215.00	\$14.60	\$18,702.60
3	Remove and Replace P.C.C. Pavement	Sq. Yd.	21	\$150.00	\$3,150.00	\$93.50	\$1,963.50	\$215.00	\$4,515.00	\$134.60	\$2,826.60
4	Saw Cutting	Lin. Ft.	151	\$10.00	\$1,510.00	\$7.50	\$1,132.50	\$10.00	\$1,510.00	\$16.48	\$2,488.48
5	Sitation Control	Lump Sum	1	\$200.00	\$200.00	\$2,900.00	\$2,900.00	\$100.00	\$100.00	\$2,100.00	\$2,100.00
6	Traffic Control	Lump Sum	1	\$1,500.00	\$1,500.00	\$1,800.00	\$1,800.00	\$500.00	\$500.00	\$4,265.00	\$4,265.00
	<b>TOTAL BASE BID</b>				<b>\$21,312.50</b>		<b>\$25,911.25</b>		<b>\$33,460.00</b>		<b>\$37,047.64</b>
	ALTERNATE #1				\$6,188.00		\$8,223.20		\$9,370.00		\$12,244.20
	ALTERNATE #2				\$4,559.00		\$6,534.90		\$6,895.00		\$7,872.06
	ALTERNATE #3				\$6,597.00		\$7,502.90		\$8,295.00		\$8,724.95
	ALTERNATE #4				\$5,713.00		\$9,872.70		\$12,462.50		\$11,796.91
	ALTERNATE #5				\$8,238.00		\$11,725.00		\$15,365.00		\$16,223.17

## **LIQUOR LICENSE REQUESTS**

As detailed in the enclosed memos, prepared by Andrea Majoros, Business Assistance Coordinator, the following Liquor License Requests has been reviewed by both the Police Department and the Planning/Development Services Division of the Department of Public Services. It is recommended for your approval:

**THE SHACK, 14810 Clayton Road** - requesting a new full liquor license to sell liquor by the drink and Sunday sales.

**ROCK AND BREWS CHESTERFIELD, 17258 Chesterfield Airport Road** - requesting a new full liquor license to sell liquor by the drink and Sunday sales.

**SYMBOL, 137 Chesterfield Towne Centre** - requesting a new full liquor license to sell liquor by the drink.

At Monday's meeting, I will recommend approval, which can then be approved by a voice vote.

Please let me know if you have any questions, prior to Monday's meeting.



## MEMORANDUM

**DATE:** August 25, 2016

**TO:** Mike Geisel  
City Administrator

**FROM:** Andrea Majoros, Business Assistance Coordinator *AM*

**SUBJECT:** **LIQUOR LICENSE REQUEST – THE SHACK**

---

**The Shack, 14810 Clayton Rd** (formerly Lester's Sports Bar & Grill) has requested a new full liquor license to sell liquor by the drink and Sunday sales.

Mr. Jonathan Fogarty is the Managing Officer.

This application was reviewed and approved by both the Police Department and the Planning/Development Services Division of the Department of Public Services.

With City Council approval at the Wednesday, September 7, City Council meeting, I will immediately issue this license.



## MEMORANDUM

**DATE:** August 25, 2016

**TO:** Mike Geisel  
City Administrator

**FROM:** Andrea Majoros, Business Assistance Coordinator *ajm*

**SUBJECT:** **LIQUOR LICENSE REQUEST – ROCK AND BREWS CHESTERFIELD**

---

**Rock and Brews Chesterfield, 17258 Chesterfield Airport Road** (formerly Estancia Mexican Restaurant) has requested a new full liquor license to sell liquor by the drink and Sunday sales.

Mr. Jeffrey C. Fritz is the Managing Officer.

This application was reviewed and approved by both the Police Department and the Planning/Development Services Division of the Department of Public Services.

With City Council approval at the Wednesday, September 7, City Council meeting, I will immediately issue this license.



## **MEMORANDUM**

**DATE:** August 25, 2016

**TO:** Mike Geisel  
City Administrator

**FROM:** Andrea Majoros, Business Assistance Coordinator 

**SUBJECT:** LIQUOR LICENSE REQUEST – SYMBOWL

---

**Symbowl, 137 Chesterfield Towne Centre** (formerly Surf Dog's) has requested a new full liquor license to sell liquor by the drink.

Mr. Gregory Owen is the Managing Officer.

This application was reviewed and approved by both the Police Department and the Planning/Development Services Division of the Department of Public Services.

With City Council approval at the Wednesday, September 7, City Council meeting, I will immediately issue this license.

## **SUNSHINE LAW PRESENTATION**

As directed by City Council, Interim City Attorney Chris Graville will offer a short presentation on issues related to Missouri's Sunshine Law.

This item is on your agenda under Unfinished Business. I suggest that Council consider suspending the rules to re-order the agenda such that this presentation could occur after the legislative portion of the meeting such that it occurs at the end of the meeting and provides the greatest flexibility for questions.

As always, if you have any questions, please contact Mr. Graville or me prior to Wednesday's meeting.

## **LEGISLATION**

- A. BILL NO. 3106**-AN ORDINANCE OF THE CITY OF CHESTERFIELD, MISSOURI AUTHORIZING CONDEMNATION OF CERTAIN INTERESTS IN REAL PROPERTY LOCATED IN THE CITY FOR THE PURPOSE OF SECURING A PERMANENT DRAINAGE EASEMENT AND TEMPORARY CONSTRUCTION EASEMENT NECESSARY FOR THE CONSTRUCTION AND IMPROVEMENT OF WILSON ROAD. **(SECOND READING)**

**AN ORDINANCE OF THE CITY OF CHESTERFIELD, MISSOURI AUTHORIZING CONDEMNATION OF CERTAIN INTERESTS IN REAL PROPERTY LOCATED IN THE CITY FOR THE PURPOSE OF SECURING A PERMANENT DRAINAGE EASEMENT AND TEMPORARY CONSTRUCTION EASEMENT NECESSARY FOR THE CONSTRUCTION AND IMPROVEMENT OF WILSON ROAD.**

**WHEREAS**, the City of Chesterfield ("City") is a third class city organized and operated pursuant to Chapter 77 of the Revised Statutes of Missouri (RSMo.) with authority under Section 88.497 RSMo. (2000) as amended, *inter alia*, to condemn land and interests in land for public use and to provide for the public safety and welfare; and,

**WHEREAS**, the City of Chesterfield needs certain property interests in, on and over certain parcels which are illustrated in Exhibit A and Exhibit C, and legally described in Exhibit B and Exhibit D, attached hereto and incorporated herein by reference (collectively, the "Property Interests"), to acquire interests to allow for the construction and improvement of Wilson Road; and,

**WHEREAS**, Country Edge, LLC is the owner of record of real property identified as 1425 Wilson Road, Chesterfield, MO 63005 (Tax Locator Number 19T53-0139) and located along Wilson Road in the City and over which the City seeks a permanent drainage easement and a temporary construction easement as shown on Exhibits A and C, and as legally described in Exhibits B and D; and,

**WHEREAS**, the condemnation of the Property Interests for the construction and improvement of Wilson Road and other public improvements is a public use and a public purpose and is for the benefit and safety of those residents within the City and St. Louis County; and,

**WHEREAS**, the City has negotiated in good faith with the owners of the Property and/or their representatives and has been unable to come to an agreement to purchase the Property Interests for the property referenced herein; and

**WHEREAS**, the City has fully complied with the requirements of Chapter 523 RSMo, including, but not limited to, properly and timely giving all notices to the property owners, making an offer to purchase that was no lower than the amount provided in the basis for the City's determination of the value of the property as provided to the property owner, giving the property owner an opportunity to obtain their own appraisal from a state-licensed or state-certified appraiser of their choice, and considering an alternate location suggested by the property owner, if any;

**NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHESTERFIELD, MISSOURI AS FOLLOWS:**

**Section 1:** The City Council hereby determines that it is necessary to acquire the Property Interests to allow construction and improvement of Wilson Road and other public purposes, all to promote and regulate the health, safety and general welfare of the City and to obtain property to be put to a vital and necessary public use and purpose.

**Section 2:** The City Council hereby authorizes the Public Works Director, Interim City Administrators, Mayor and City Attorney to take all necessary actions to acquire the Property Interests referenced herein including filing a petition condemning the Property Interests not less

than thirty (30) days after the date of the City's written offer to the property owners, continuing to seek voluntary sale, or such other actions necessary to acquire the necessary interests identified herein and such other interests by condemnation or voluntary sale.

**Section 3:** That this Ordinance shall be in full force and effect from and after its passage and approval.

Passed and approved this \_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
Bob Nation, MAYOR

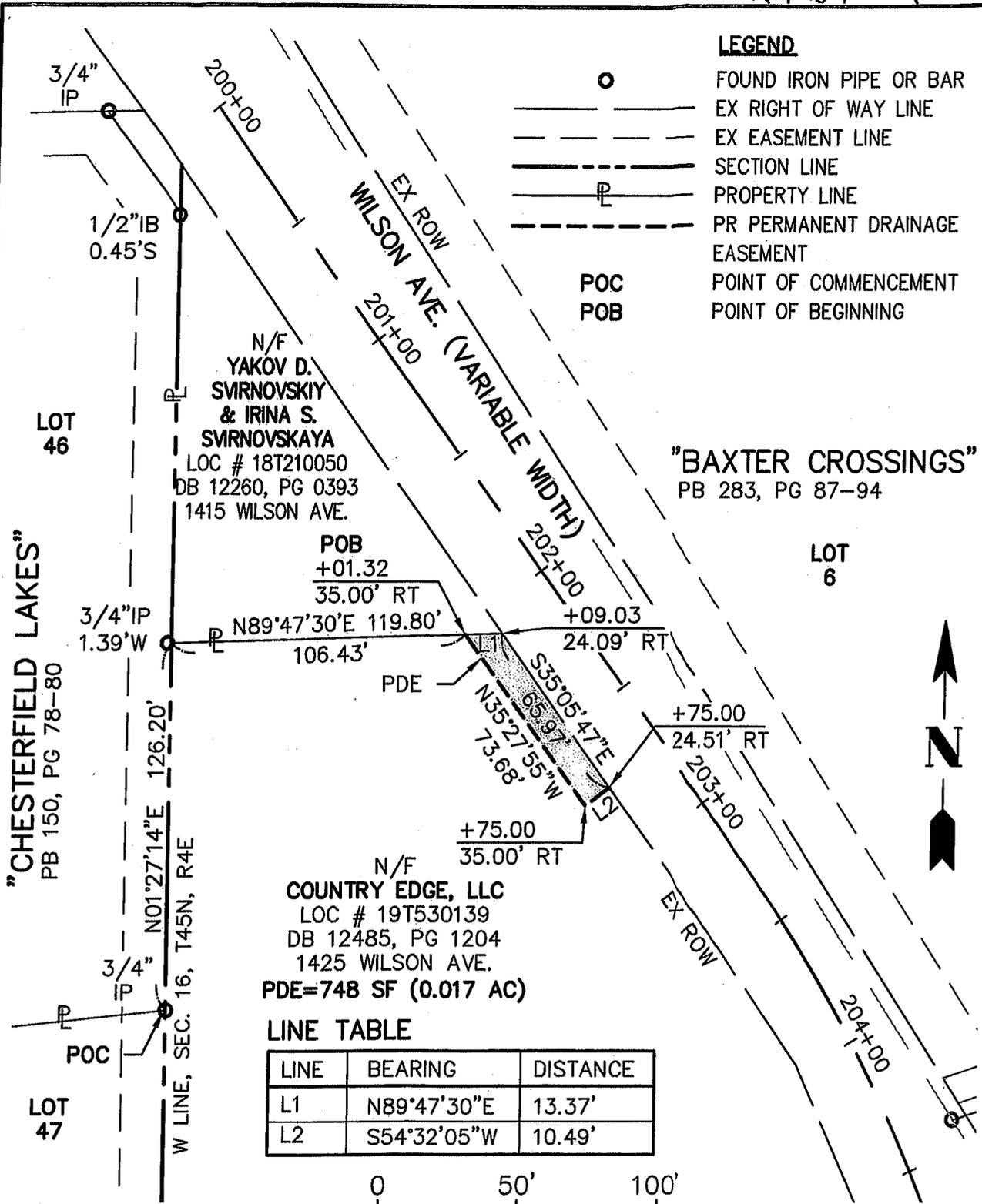
ATTEST:

\_\_\_\_\_  
Vickie Hass, CITY CLERK

FIRST READING HELD: 8/15/2016

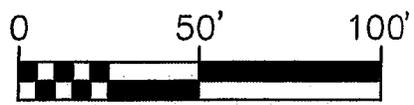
**LEGEND**

- FOUND IRON PIPE OR BAR
- EX RIGHT OF WAY LINE
- EX EASEMENT LINE
- SECTION LINE
- PROPERTY LINE
- PR PERMANENT DRAINAGE EASEMENT
- POC** POINT OF COMMENCEMENT
- POB** POINT OF BEGINNING



**LINE TABLE**

LINE	BEARING	DISTANCE
L1	N89°47'30"E	13.37'
L2	S54°32'05"W	10.49'



GRAPHIC SCALE  
1"=50'

EXHIBIT "A" SHEET 1 OF 1

**PERMANENT DRAINAGE EASEMENT  
PART OF SECTION 16, TOWNSHIP 45 NORTH, RANGE  
4 EAST OF THE 5TH PRINCIPAL MERIDIAN,  
ST. LOUIS COUNTY, MISSOURI**

STATE OF MISSOURI  
STEVEN M. MILL  
PROFESSIONAL LAND SURVEYOR  
NUMBER LS-2008016660  
12/9/14  
EXPIRES 12/31/14

PROJECT: Wilson Ave. Culverts  
PARCEL NO.: 1  
OWNER: Country Edge, LLC  
November 7, 2014  
Page 1 of 2

**PERMANENT DRAINAGE EASEMENT**

A tract of land being part of Section 16, Township 45 North, Range 4 East of the 5th Principal Meridian, St Louis County, Missouri, being more particularly described as follows:

Commencing at a 3/4 inch iron pipe marking the southeast corner of Lot 46 of CHESTERFIELD LAKES, a Subdivision filed for record in Plat Book 150, Pages 78 through 80 of the St. Louis County Records; thence on an assumed bearing of North 01 degree 27 minutes 14 seconds East along the east line of said Lot 46, said line also being the west line of said Section 16, a distance of 126.20 feet; thence North 89 degrees 47 minutes 30 seconds East along the north line of a tract of land described in the deed to Country Edge, LLC as recorded in Deed Book 12485, Page 1204 of the St. Louis County Records, 106.43 feet to the Point of Beginning.

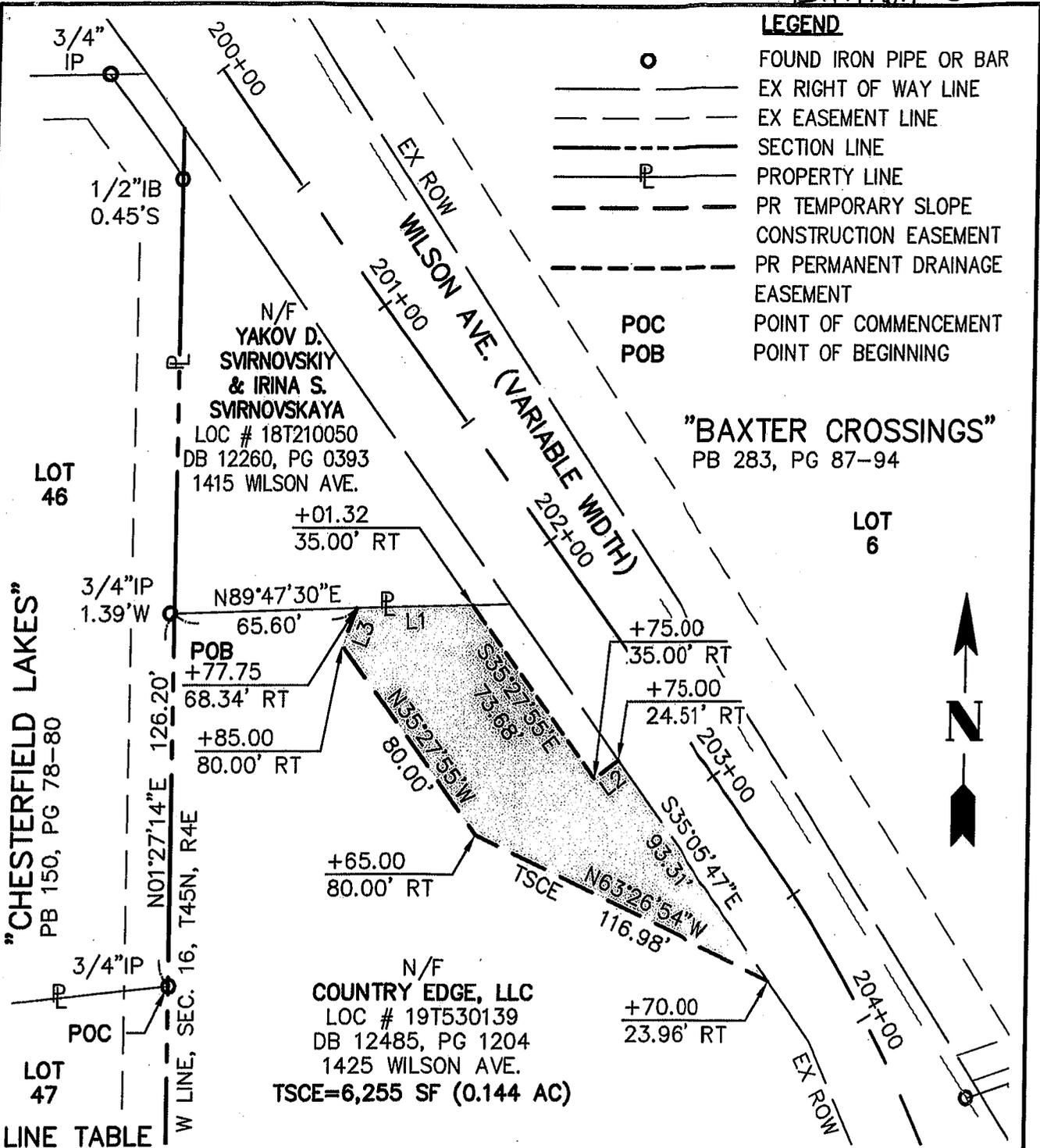
From said Point of Beginning; thence continuing North 89 degrees 47 minutes 30 seconds East along said north line, 13.37 feet to the southwest right of way line of Wilson Avenue; thence South 35 degrees 05 minutes 47 seconds East along said southwest right of way line, 65.97 feet; thence South 54 degrees 32 minutes 05 seconds West, 10.49 feet; thence North 35 degrees 27 minutes 55 seconds West, 73.68 feet to the Point of Beginning.

Said tract contains 748 square feet or 0.017 acre, more or less.



11/11/14

EXP 12/31/14



- LEGEND**
- FOUND IRON PIPE OR BAR
  - EX RIGHT OF WAY LINE
  - - - EX EASEMENT LINE
  - SECTION LINE
  - P — PROPERTY LINE
  - - - PR TEMPORARY SLOPE CONSTRUCTION EASEMENT
  - - - PR PERMANENT DRAINAGE EASEMENT
  - POC POINT OF COMMENCEMENT
  - POB POINT OF BEGINNING

**"CHESTERFIELD LAKES"**  
PB 150, PG 78-80

**"BAXTER CROSSINGS"**  
PB 283, PG 87-94

N/F  
**YAKOV D. SVIRNOVSKIY & IRINA S. SVIRNOVSKAYA**  
LOC # 18T210050  
DB 12260, PG 0393  
1415 WILSON AVE.

N/F  
**COUNTRY EDGE, LLC**  
LOC # 19T530139  
DB 12485, PG 1204  
1425 WILSON AVE.  
**TSCE=6,255 SF (0.144 AC)**

**LINE TABLE**

LINE	BEARING	DISTANCE
L1	N89°47'30"E	40.83'
L2	N54°32'05"E	10.49'
L3	N22°39'50"E	13.73'

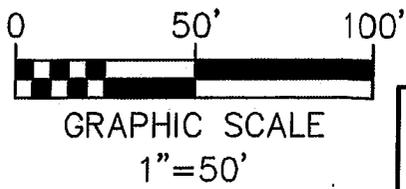


EXHIBIT "A" SHEET 1 OF 1

**TEMPORARY SLOPE CONSTRUCTION EASEMENT**  
PART OF SECTION 16, TOWNSHIP 45 NORTH, RANGE 4 EAST OF THE 5TH PRINCIPAL MERIDIAN,  
ST. LOUIS COUNTY, MISSOURI

STATE OF MISSOURI  
STEVEN M. KE...  
NUMBER  
PLS-2008016660  
PROFESSIONAL LAND SURVEYOR  
12/9/14  
EXPIRES 12/31/14

PROJECT: Wilson Ave. Culverts  
PARCEL NO.: 2  
OWNER: Country Edge, LLC  
November 7, 2014  
Page 1 of 2

**TEMPORARY SLOPE CONSTRUCTION EASEMENT**

A tract of land being part of Section 16, Township 45 North, Range 4 East of the 5th Principal Meridian, St Louis County, Missouri, being more particularly described as follows:

Commencing at a 3/4 inch iron pipe marking the southeast corner of Lot 46 of CHESTERFIELD LAKES, a Subdivision filed for record in Plat Book 150, Pages 78 through 80 of the St. Louis County Records; thence on an assumed bearing of North 01 degree 27 minutes 14 seconds East along the east line of said Lot 46, said line also being the west line of said Section 16, a distance of 126.20 feet; thence North 89 degrees 47 minutes 30 seconds East along the north line of a tract of land described in the deed to Country Edge, LLC as recorded in Deed Book 12485, Page 1204 of the St. Louis County Records, 65.60 feet to the Point of Beginning.

From said Point of Beginning; thence continuing North 89 degrees 47 minutes 30 seconds East along said north line, 40.83 feet; thence South 35 degrees 27 minutes 55 seconds East, 73.68 feet; thence North 54 degrees 32 minutes 05 seconds East, 10.49 feet to the southwest right of way line of Wilson Avenue; thence South 35 degrees 05 minutes 47 seconds East along said southwest right of way line, 93.31 feet; thence North 63 degrees 26 minutes 54 seconds West, 116.98 feet; thence North 35 degrees

27 minutes 55 seconds West, 80.00 feet; thence North 22 degrees 39 minutes 50 seconds East, 13.73 feet to the Point of Beginning.

Said tract contains 6,255 square feet or 0.144 acre, more or less.



11/11/14

EXP 12/31/14

## **LEGISLATION – PLANNING COMMISSION**

- A. BILL NO. 3107-AN ORDINANCE AMENDING THE UNIFIED DEVELOPMENT CODE OF THE CITY OF CHESTERFIELD BY CHANGING THE BOUNDARIES OF AN EXISTING “C8” PLANNED COMMERCIAL DISTRICT TO “UC” URBAN CORE DISTRICT FOR A 200.2 ACRE TRACT OF LAND LOCATED ON THE NORTH SIDE OF CHESTERFIELD PARKWAY WEST, APPROXIMATELY 2,000 FEET EAST OF CITY CENTER DRIVE (P.Z 07-2015 MONSANTO CHESTERFIELD CAMPUS[C-8 TO UC]—17S210094,17S230025, 17S230014,17S230036 & 17S240057) (FIRST READING; PLANNING COMMISSION RECOMMENDS APPROVAL)**
- B. BILL NO. 3108 - AN ORDINANCE AMENDING THE UNIFIED DEVELOPMENT CODE OF THE CITY OF CHESTERFIELD BY CHANGING THE BOUNDARIES OF AN EXISTING “PC” PLANNED COMMERCIAL DISTRICT WITH A “MAA” MUSEUM AND ARTS OVERLAY DISTRICT TO A NEW “PC” PLANNED COMMERCIAL DISTRICT FOR A 5.104 ACRE TRACT LOCATED NORTHEAST OF THE INTERSECTION OF CHESTERFIELD AIRPORT ROAD AND CHESTERFIELD COMMONS DRIVE (P.Z 10-2015 KEMP AUTO MUSEUM [16955 CHESTERFIELD AIRPORT ROAD.]-17T140211). (FIRST READING; PLANNING COMMISSION RECOMMENDS APPROVAL)**
- C. BILL NO. 3110- AN ORDINANCE AMENDING THE UNIFIED DEVELOPMENT CODE OF THE CITY OF CHESTERFIELD BY CHANGING THE BOUNDARIES OF TWO EXISTING “PC” PLANNED COMMERCIAL DISTRICTS FOR A 22.22 ACRE TRACT OF LAND LOCATED NORTH OF NORTH OUTER 40 ROAD AND EAST OF BOONE’S CROSSING(P.Z 04-2016 US ICE SPORTS COMPLEX & VALLEY GATES[TOPGOLF USA CHESTERFIELD LLC.] – 17T510041, 17T520062, 17T520095, 17T520084) (FIRST READING; PLANNING COMMISSION RECOMMENDS APPROVAL)**

BILL NO. 3107

ORDINANCE NO. \_\_\_\_\_

**AN ORDINANCE AMENDING THE UNIFIED DEVELOPMENT CODE OF THE CITY OF CHESTERFIELD BY CHANGING THE BOUNDARIES OF AN EXISTING "C8" PLANNED COMMERCIAL DISTRICT TO "UC" URBAN CORE DISTRICT FOR A 200.2 ACRE TRACT OF LAND LOCATED ON THE NORTH SIDE OF CHESTERFIELD PARKWAY WEST, APPROXIMATELY 2,000 FEET EAST OF CITY CENTER DRIVE (P.Z. 07-2015 MONSANTO CHESTERFIELD CAMPUS [C-8 to UC]—17S210094, 17S230025, 17S230014, 17S230036 & 17S240057).**

**WHEREAS**, the petitioner, the Monsanto Company, Inc., has requested a change in zoning from a "C8" Planned Commercial District to "UC" Urban Core District for a 200.2 acre tract of land located on the north side of Chesterfield Parkway West, approximately 2,000 feet east of City Center Drive; and,

**WHEREAS**, a Public Hearing was held before the Planning Commission on August 10, 2015; and,

**WHEREAS**, the Planning Commission, having considered said request, recommended approval of the change of zoning; and,

**WHEREAS**, the Planning and Public Works Committee, having considered said request, recommended approval of the change of zoning; and,

**WHEREAS**, the City Council, having considered said request, voted to approve the change of zoning request.

**NOW THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:**

**Section 1.** City of Chesterfield Unified Development Code and the Official Zoning District Map, which are part thereof, are hereby amended by establishing a "UC" Urban Core District designation for 200.2 acres located on the north side of Chesterfield Parkway West, approximately 2,000 feet east of City Center Drive and as described as follows:

Adjusted Tract 1 of Boundary Adjustment Plat of "Tracts of land in U.S. Surveys 123 and 154 and part of Lots 5, 6, 7 and 8 of Subdivision of Hugo Essen Farm, Township 45 North, Range 4 East, St. Louis County,

Missouri”, according to the plat thereof recorded in Plat Book 317 Page 45 of the St. Louis County Records.

EXCEPTING THEREFROM that part subdivided and now known as “Chesterfield Government Center”, according to the plat recorded in Plat Book 348 Page 145 of the St. Louis County Records; AND ALSO EXCEPTING FROM ADJUSTED TRACT 1 a ‘Projects Improvements’ constructed pursuant to the provisions of the Ground Leases recorded in Book 17103 Page 595 and Book 17736 Page 1483.

**Section 2.** The preliminary approval, pursuant to the City of Chesterfield Unified Development Code is granted, subject to all of the ordinances, rules and regulations and the specific conditions as recommended by the Planning Commission in its recommendation to the City Council, which are set out in the “Attachment A” and the preliminary plan indicated as “Attachment B” which is attached hereto as and made part of.

**Section 3.** The City Council, pursuant to the petition filed by the Monsanto Company, Inc. in P.Z. 07-2015, requesting the rezoning embodied in this ordinance, and pursuant to the recommendation of the City of Chesterfield Planning Commission that said petition be granted and after a public hearing, held by the Planning Commission on the 10<sup>th</sup> day of August 2015, does hereby adopt this ordinance pursuant to the power granted to the City of Chesterfield under Chapter 89 of the Revised Statutes of the State of Missouri authorizing the City Council to exercise legislative power pertaining to planning and zoning.

**Section 4.** This ordinance and the requirements thereof are exempt from the warning and summons for violations as set out in Section 8 of the City of Chesterfield Unified Development Code.

**Section 5.** This ordinance shall be in full force and effect from and after its passage and approval.

Passed and approved this \_\_\_\_\_ day of \_\_\_\_\_, 2016

---

PRESIDING OFFICER

---

Bob Nation, MAYOR

ATTEST:

---

Vickie Hass, CITY CLERK

FIRST READING HELD: 8/15/2016

## ATTACHMENT A

**All provisions of the City of Chesterfield City Code shall apply to this development except as specifically modified herein.**

### **I. SPECIFIC CRITERIA**

#### **A. PERMITTED USES**

1. The uses allowed in this UC District shall be:
  - a. Office-general; and,
  - b. Research Laboratory and Facility
2. Telecommunication siting permits may be issued for wireless telecommunications facilities per the requirements of the City Code.

#### **B. FLOOR AREA, HEIGHT, BUILDING AND PARKING STRUCTURE REQUIREMENTS**

1. Floor Area
  - a. Total building floor area shall not exceed 4,800,000 square feet.
2. Height
  - a. The maximum height of any building, exclusive of exhaust stacks as required by State and Federal regulations, shall not exceed 760 feet Mean Sea Level (MSL) based on NGVD29 or 8 stories. The height of each building shall be as shown on the Preliminary Plan attached hereto as Attachment B.
3. Building Requirements
  - a. A minimum of 30% openspace is required for each lot within this development.
  - b. This development shall have a maximum F.A.R. of 0.55.

### **C. SETBACKS**

#### 1. Structure Setbacks

No building or structure, other than: a freestanding project identification sign, light standards, or flag poles will be located within the following setbacks:

- a. Thirty-five (35) feet from the boundary of this UC District, except as shown on the Preliminary Plan attached hereto as Attachment B.

#### 2. Parking Setbacks

No parking stall, loading space, internal driveway, or roadway, except points of ingress or egress, will be located within the following setbacks:

- a. Thirty-five (35) feet from the boundary of this UC District, except as shown on the Preliminary Plan attached hereto as Attachment B.

### **D. PARKING AND LOADING REQUIREMENTS**

1. Parking and loading spaces for this development will be as required in the City of Chesterfield Code.
2. Parking lots shall not be used as streets.
3. No construction related parking shall be permitted within right-of-way or on any existing roadways. All construction related parking shall be confined to the development.
4. Provide adequate temporary off-street parking for construction employees. Parking on non-surfaced areas shall be prohibited in order to eliminate the condition whereby mud from construction and employee vehicles is tracked onto the pavement causing hazardous roadway and driving conditions.

### **E. LANDSCAPE AND TREE REQUIREMENTS**

The development shall adhere to the Landscape and Tree Preservation Requirements of the City of Chesterfield Code.

## **F. SIGN REQUIREMENTS**

1. Signs shall be permitted in accordance with the regulations of the City of Chesterfield Code or a Sign Package may be submitted for the planned district. Sign Packages shall adhere to the City Code and are reviewed and approved by the City of Chesterfield Planning Commission.
2. Ornamental Entrance Monument construction, if proposed, shall be reviewed by the City of Chesterfield, and/or the Saint Louis County Department of Transportation for sight distance considerations and approved prior to installation or construction.

## **G. LIGHT REQUIREMENTS**

Provide a lighting plan and cut sheet in accordance with the City of Chesterfield Code.

## **H. ARCHITECTURAL**

1. The development shall adhere to the Architectural Review Standards of the City of Chesterfield Code.
2. Trash enclosures: All exterior trash areas will be enclosed with a minimum six (6) foot high sight-proof enclosure complemented by adequate landscaping. The location, material, and elevation of any trash enclosures will be as approved by the City of Chesterfield on the Site Development Plan.

## **I. ACCESS/ACCESS MANAGEMENT**

1. Access to the development from Chesterfield Parkway West shall be from the existing entrance directly across from Forest Trace Drive along Chesterfield Parkway.

2. A second access point along Chesterfield Parkway shall be provided with the final design and location to be determined during review of Site Development Concept Plans, Site Development Section Plans, or any amendments thereto, as directed by the City of Chesterfield and the St. Louis County Department of Transportation. Auxiliary left and right turn lanes shall be provided as directed by the Saint Louis County Department of Transportation. This access shall provide required sight distance and be constructed to Saint Louis County and City of Chesterfield standards as directed by the City of Chesterfield and the Saint Louis County Department of Transportation.
3. The existing street stub along Chesterfield Parkway West approximately 650 feet west of the existing entrance shall be removed and right-of-way restored per Saint Louis County Department of Transportation standards.
4. Access to this development from Swingley Ridge Drive shall be from an entrance along Stemme Drive/City Center Drive with the final design and location to be determined during review of any plan subsequent to the establishment of this UC district and any amendments thereto. Only one curb cut shall be allowed for the joint Stemme Drive/City Hall entrance/Monsanto entrance configuration.
5. The existing construction entrance at Swingley Ridge Drive shall be removed prior to occupancy of any building on the portion of the campus west of the jurisdictional waterway, unless directed otherwise by the City of Chesterfield.
6. The existing access point off of West Drive shall be for service use only.
7. Adequate sight distance shall be provided, as directed by the City of Chesterfield and St. Louis County Department of Transportation, as applicable. If adequate sight distance cannot be provided at the access location(s), acquisition of right-of-way, reconstruction of pavement and other off-site improvements may be required to provide the required sight distance as required by the City of Chesterfield and the agency in control of the right-of-way off which the access is proposed.

## **J. PUBLIC/PRIVATE ROAD IMPROVEMENTS, INCLUDING PEDESTRIAN CIRCULATION**

1. Any request to install a gate at the entrance to this development must be approved by the City of Chesterfield and the St. Louis County Department of Transportation. No gate installation will be permitted on public right-of-way.
2. If a gate is installed on a street in this development, the streets within the development, or that portion of the development that is gated, shall be private and remain private forever.
3. The developer's additional road improvement obligation shall be as determined by the approved traffic study and as directed by the City of Chesterfield, St. Louis County Department of Transportation, and Missouri Department of Transportation.
4. Prior to Special Use Permit issuance by the St. Louis County Department of Transportation, a special cash escrow or a special cash escrow supported by an Irrevocable Letter of Credit, must be established with the St. Louis County Department of Transportation to guarantee completion of the required roadway improvements.
5. The developer is advised that utility companies will require compensation for relocation of their facilities within public road right-of-way. Utility relocation cost shall not be considered as an allowable credit against the petitioner's traffic generation assessment contributions. The developer should also be aware of extensive delays in utility company relocation and adjustments. Such delays will not constitute a cause to allow occupancy prior to completion of road improvements.
6. The connection of Swingley Ridge Drive to North Outer 40 with access to I-64 westbound is required prior to occupancy of any development in excess of 2,660,000 square feet as approved by the Missouri Department of Transportation, the Federal Highways Administration, the City of Chesterfield, and the St. Louis County Department of Transportation as applicable.
7. The City reserves the right to hold occupancy permits until all road improvements and right of way dedication required by the phasing plan has been completed. Delays due to utility relocation and adjustments will not constitute a cause to allow occupancy prior to completion of road improvements.

8. Provide a sidewalk conforming to Saint Louis County ADA standards adjacent to Chesterfield Parkway West, as directed by the City of Chesterfield and Saint Louis County Department of Transportation.
9. Provide and/or improve sidewalk and curb ramps, in conformance with ADA standards, along Swingley Ridge Drive and Stemme Drive. The sidewalk shall provide for future connectivity to adjacent developments and/or roadway projects. The sidewalk may be located within right-of-way controlled by another agency, if permitted by that agency or on private property within a six (6) foot wide sidewalk, maintenance and utility easement dedicated to the City of Chesterfield.
10. Obtain approvals from the City of Chesterfield, Saint Louis County Department of Transportation, and the Missouri Department of Transportation and other entities as necessary for locations of proposed curb cuts and access points, areas of new dedication, and roadway improvements.
11. A 20 foot wide dedication strip for right-of-way along West Drive shall be dedicated to the City of Chesterfield, at no cost to the City, prior to approval of improvement plans. This dedication strip shall include all necessary temporary easements for construction. Be advised that required parking and structure setbacks for this development shall be from the existing western property line as shown on the Preliminary Plan attached hereto as Attachment B. This 20 foot wide right-of-way does not count against the total property acreage.
12. Improve the existing transit stop west of the main entrance off Chesterfield Parkway West with a covered shelter. The shelter is to be privately maintained, not located within public right-of-way and private advertisement is not permitted upon this shelter. The shelter shall be constructed with the first plan subsequent to the establishment of this UC District.

## **K. TRAFFIC STUDY**

1. Provide a traffic study as directed by the City of Chesterfield and/or the Missouri Department of Transportation and/or St. Louis County Department of Transportation prior to approval of any plan subsequent to the establishment of this UC district. The scope of the study shall include internal and external circulation and may be limited to site specific impacts, such as the need for additional lanes, entrance configuration, geometrics, sight distance, traffic signal modifications or other improvements as required. The scope of the traffic study shall include but not be limited to Chesterfield Parkway West, North Outer 40 Road, Olive Road, Clarkson Road, Swingley Ridge Drive and any other impacted roadways.
2. If construction is phased, a plan for this phasing and associated traffic improvements shall be included in the traffic study.
3. If full build-out has not occurred within 10 years of the date of the traffic study, or if the City determines there to be a condition of development which would affect the findings of the traffic study, the developer will be required to update the traffic study prior to approval of any subsequent plans.
4. Provide a sight distance evaluation report, as required by the City of Chesterfield and/or Saint Louis County Department of Transportation, for the proposed entrances onto Chesterfield Parkway West and Swingley Ridge Road. If adequate sight distance cannot be provided at the access location, acquisition of right-of-way, reconstruction of pavement, including correction to the vertical alignment, and/or other off-site improvements shall be required, as directed by the City of Chesterfield and/or the Saint Louis County Department of Transportation.

## **L. POWER OF REVIEW**

Either Councilmember of the Ward where a development is proposed or the Mayor may request that the plan for a development be reviewed and approved by the entire City Council. This request must be made no later than twenty-four (24) hours after Planning Commission review. The City Council will then take appropriate action relative to the proposal. The plan for a development, for purposes of this section, may include the site development plan, site development section plan, site development concept plan, landscape plan, lighting plans, architectural elevations, sign package or any amendment thereto.

## **M. STORM WATER**

1. The site shall provide for the positive drainage of storm water and it shall be discharged at an adequate natural discharge point or connected to an adequate piped system.
2. Detention/retention and channel protection measures are to be provided in each watershed as required by the City of Chesterfield and the Metropolitan St. Louis Sewer District. The storm water management facilities shall be operational prior to paving of any driveways or parking areas in non-residential developments. The location and types of storm water management facilities shall be identified on all Site Development Plans.
3. Post construction storm water Best Management Practices (BMPs) are required to treat the extents of the project's disturbed area. BMPs shall be designed to provide runoff volume reduction such that the project post development runoff condition mimics its preconstruction runoff condition. Channel Protection and Detention are required. Facilities to satisfy these requirements are indicated on the drawing, and their adequacy will be evaluated during formal plan review when design calculations are submitted for MSD review.
4. Emergency overflow drainage ways to accommodate runoff from the 100 year storm event shall be provided for all storm sewers, as directed by the City of Chesterfield.
5. Offsite storm water shall be picked up and piped to an adequate natural discharge point. Such bypass systems must be adequately designed.
6. The lowest opening of all structures shall be set at least two (2) feet higher than the 100 year high water elevation in detention/retention facilities. All structures shall be set at least 30 feet horizontally from the limits of the 100 year high water.
7. Locations of site features such as lakes and detention ponds must be approved by the City of Chesterfield and the Metropolitan Saint Louis Sewer District.

## **N. SANITARY SEWER**

1. Sanitary sewers shall be approved by the Metropolitan St. Louis Sewer District and the City of Chesterfield.

2. Capacity improvements to the Monsanto Pump Station are required prior to occupancy of the new buildings as required by the Metropolitan St. Louis Sewer District.

#### **O. GEOTECHNICAL REPORT**

Prior to Site Development Plan approval, provide a geotechnical report, prepared by a registered professional engineer licensed to practice in the State of Missouri, as directed by the Department of Public Services. The report shall verify the suitability of grading and proposed improvements with soil and geologic conditions and address the existence of any potential sinkhole, ponds, dams, septic fields, etc., and recommendations for treatment. A statement of compliance, signed and sealed by the geotechnical engineer preparing the report, shall be included on all Site Development Plans and Improvement Plans.

#### **P. MISCELLANEOUS**

1. All utilities will be installed underground.
2. An opportunity for recycling will be provided. All provisions of Chapter 25, Article VII, and Section 25-122 thru Section 25-126 of the City Code shall be required where applicable.
3. Road improvements and right-of-way dedication shall be completed prior to the issuance of an occupancy permit. If development phasing is anticipated, the developer shall complete road improvements, right-of-way dedication, and access requirements for each phase of development as directed by the City of Chesterfield and Saint Louis County Department of Transportation or the Missouri Department of Transportation. Delays due to utility relocation and adjustments will not constitute a cause to allow occupancy prior to completion of road improvements.
4. Prior to final release of construction deposits or record plat approval, the developer shall provide certification by a registered land surveyor that all monumentation depicted on the record plat has been installed and United States Public Land Survey Corners have not been disturbed during construction activities or that they have been reestablished and the appropriate documents filed with the Missouri Department of Natural Resources Land Survey Program, as necessary.

5. This development shall include the installation of public art. Said artwork shall be placed so as to be visible for public view and enjoyment. Location and art work to be approved by the City of Chesterfield prior to the issuance of municipal zoning approval for any new development in excess of 2,660,000 square feet.

#### **Q. WETLANDS AND JURISDICTIONAL WATERWAYS**

1. Prior to approval of any grading permit or improvement plans, or issuance of a building permit, required permits from the Army Corps of Engineers shall be obtained.

### **II. TIME PERIOD FOR SUBMITTAL OF SITE DEVELOPMENT CONCEPT PLANS AND SITE DEVELOPMENT PLANS**

- A.** The developer shall submit a concept plan within eighteen (18) months of City Council approval of the change of zoning.
- B.** In lieu of submitting a Site Development Concept Plan and Site Development Section Plans, the petitioner may submit a Site Development Plan for the entire development within eighteen (18) months of the date of approval of the change of zoning by the City.
- C.** Failure to comply with these submittal requirements will result in the expiration of the change of zoning and will require a new public hearing.
- D.** Said Plan shall be submitted in accordance with the combined requirements for Site Development Section and Concept Plans. The submission of Amended Site Development Plans by sections of this project to the Planning Commission shall be permitted if this option is utilized.
- E.** Where due cause is shown by the developer, the City Council may extend the period to submit a Site Development Concept Plan or Site Development Plan for eighteen (18) months.

### **III. COMMENCEMENT OF CONSTRUCTION**

- A.** Substantial construction shall commence within two (2) years of approval of the Site Development Concept Plan or Site Development Plan, unless otherwise authorized by ordinance.
- B.** Where due cause is shown by the developer, the City Council may extend the period to commence construction for two (2) additional years.

#### **IV. GENERAL CRITERIA**

##### **A. SITE DEVELOPMENT CONCEPT PLAN**

1. Any Site Development Concept Plan shall show all information required on a preliminary plat as required in the City of Chesterfield Code.
2. Include a Conceptual Landscape Plan in accordance with the City of Chesterfield Code to indicate proposed landscaping along arterial and collector roadways.
3. Include a Lighting Plan in accordance with the City of Chesterfield Code to indicate proposed lighting along arterial collector roadways.
4. Provide comments/approvals from the appropriate Fire District, the St. Louis County Department of Highways and Traffic, Monarch Chesterfield Levee District, Spirit of St. Louis Airport and the Missouri Department of Transportation.
5. Compliance with the current Metropolitan Sewer District Site Guidance as adopted by the City of Chesterfield.

##### **B. SITE DEVELOPMENT PLAN SUBMITTAL REQUIREMENTS**

The Site Development Plan shall include, but not be limited to, the following:

1. Location map, north arrow, and plan scale. The scale shall be no greater than one (1) inch equals one hundred (100) feet.
2. Outboundary plat and legal description of property.
3. Density calculations.
4. Parking calculations. Including calculation for all off street parking spaces, required and proposed, and the number, size and location for handicap designed.
5. Provide openspace percentage for overall development including separate percentage for each lot on the plan.
6. Provide Floor Area Ratio (F.A.R.).
7. A note indicating all utilities will be installed underground.

8. A note indicating signage approval is separate process.
9. Depict the location of all buildings, size, including height and distance from adjacent property lines, and proposed use.
10. Specific structure and parking setbacks along all roadways and property lines.
11. Indicate location of all existing and proposed freestanding monument signs.
12. Zoning district lines, subdivision name, lot number, dimensions, and area, and zoning of adjacent parcels where different than site.
13. Floodplain boundaries.
14. Depict existing and proposed improvements within 150 feet of the site as directed. Improvements include, but are not limited to, roadways, driveways and walkways adjacent to and across the street from the site, significant natural features, such as wooded areas and rock formations, and other karst features that are to remain or be removed.
15. Depict all existing and proposed easements and rights-of-way within 150 feet of the site and all existing or proposed off-site easements and rights-of-way required for proposed improvements.
16. Indicate the location of the proposed storm sewers, detention basins, sanitary sewers and connection(s) to the existing systems.
17. Depict existing and proposed contours at intervals of not more than one (1) foot, and extending 150 feet beyond the limits of the site as directed.
18. Address trees and landscaping in accordance with the City of Chesterfield Code.
19. Comply with all preliminary plat requirements of the City of Chesterfield Subdivision Regulations per the City of Chesterfield Code.
20. Signed and sealed in conformance with the State of Missouri Department of Economic Development, Division of Professional Registration, Missouri Board for Architects, Professional Engineers and Land Surveyors requirements.

21. Provide comments/approvals from the appropriate Fire District, Monarch Levee District, Spirit of St. Louis Airport, Metropolitan St. Louis Sewer District (MSD) and the Missouri Department of Transportation.
22. Compliance with Sky Exposure Plane.
23. Compliance with the current Metropolitan Sewer District Site Guidance as adopted by the City of Chesterfield.

### **C. SITE DEVELOPMENT SECTION PLAN SUBMITTAL REQUIREMENTS**

The Site Development Section Plan shall adhere to the above criteria and to the following:

1. Location map, north arrow, and plan scale. The scale shall be no greater than one (1) inch equals one hundred (100) feet.
2. Parking calculations. Including calculation for all off street parking spaces, required and proposed, and the number, size and location for handicap designed.
3. Provide openspace percentage for overall development including separate percentage for each lot on the plan.
4. Provide Floor Area Ratio (F.A.R.).
5. A note indicating all utilities will be installed underground.
6. A note indicating signage approval is separate process.
7. Depict the location of all buildings, size, including height and distance from adjacent property lines and proposed use.
8. Specific structure and parking setbacks along all roadways and property lines.
9. Indicate location of all existing and proposed freestanding monument signs.
10. Zoning district lines, subdivision name, lot number, lot dimensions, lot area, and zoning of adjacent parcels where different than site.
11. Floodplain boundaries.

12. Depict existing and proposed improvements within 150 feet of the site as directed. Improvements include, but are not limited to, roadways, driveways and walkways adjacent to and across the street from the site, significant natural features, such as wooded areas and rock formations, and other karst features that are to remain or be removed.
13. Depict all existing and proposed easements and rights-of-way within 150 feet of the site and all existing or proposed off-site easements and rights-of-way required for proposed improvements.
14. Indicate the location of the proposed storm sewers, detention basins, sanitary sewers and connection(s) to the existing systems.
15. Depict existing and proposed contours at intervals of not more than one (1) foot, and extending 150 feet beyond the limits of the site as directed.
16. Address trees and landscaping in accordance with the City of Chesterfield Code.
17. Comply with all preliminary plat requirements of the City of Chesterfield Subdivision Regulations per the City of Chesterfield Code.
18. Signed and sealed in conformance with the State of Missouri Department of Economic Development, Division of Professional Registration, Missouri Board for Architects, Professional Engineers and Land Surveyors requirements.
19. Provide comments/approvals from the appropriate Fire District, Monarch Levee District, Spirit of St. Louis Airport, St. Louis Department of Highways and Traffic, Metropolitan St. Louis Sewer District (MSD) and the Missouri Department of Transportation.
20. Compliance with Sky Exposure Plane.
21. Compliance with the current Metropolitan Sewer District Site Guidance as adopted by the City of Chesterfield.

## V. TRUST FUND CONTRIBUTION

### Traffic Generation Assessment Rates

The amount of all required contributions for roadway, storm water and primary water line improvements, if not submitted by January 1, 2017, shall be adjusted on that date and on the first day of January in each succeeding year thereafter in accordance with the construction cost index as determined by the Saint Louis County Department of Transportation.

### A. ROADS

1. The developer shall be required to contribute a Traffic Generation Assessment (TGA) to the Chesterfield Valley Trust Fund (No. 554). This contribution shall not exceed an amount established by multiplying the required parking spaces by the following rate schedule:

<u>Type of Development</u>	<u>Required Contribution</u>
General Office	\$741.06/parking space
Research Center	\$741.06/parking space
Loading Space	\$3,638.14/parking space

If types of development proposed differ from those listed, rates shall be provided by the St. Louis County Department of Transportation.

If a portion of the improvements required herein are needed to provide for the safety of the traveling public, their completion as a part of this development is mandatory.

Allowable credits for required roadway improvements will be awarded as directed by the St. Louis County Department of Transportation and the City of Chesterfield. Sidewalk construction and utility relocation, among other items, are not considered allowable credits.

2. As this development is located within a trust fund area established by St. Louis County, any portion of the traffic generation assessment contribution which remains following completion of road improvements required by the development shall be retained in the appropriate trust fund.

3. Traffic Generation Assessment contributions shall be deposited with Saint Louis County Department of Transportation. The deposit shall be made prior to the issuance of a Special Use Permit (S.U.P.) by Saint Louis County Department of Transportation or prior to the issuance of building permits in the case where no Special Use Permit is required. If development phasing is anticipated, the developer shall provide the Traffic Generation Assessment contribution prior to the issuance of building permits for each phase of development. Funds shall be payable to Treasurer, Saint Louis County.

## **VI. RECORDING**

Within sixty (60) days of approval of any development plan by the City of Chesterfield, the approved Plan will be recorded with the St. Louis County Recorder of Deeds. Failure to do so will result in the expiration of approval of said plan and require re-approval of a plan by the Planning Commission.

## **VII. ENFORCEMENT**

- A.** The City of Chesterfield, Missouri will enforce the conditions of this ordinance in accordance with the Plan approved by the City of Chesterfield and the terms of this Attachment A.
- B.** Failure to comply with any or all the conditions of this ordinance will be adequate cause for revocation of approvals/permits by reviewing Departments and Commissions.
- C.** Non-compliance with the specific requirements and conditions set forth in this Ordinance and its attached conditions or other Ordinances of the City of Chesterfield shall constitute an ordinance violation, subject, but not limited to, the penalty provisions as set forth in the City of Chesterfield Code.
- D.** Waiver of Notice of Violation per the City of Chesterfield Code.
- E.** This document shall be read as a whole and any inconsistency to be integrated to carry out the overall intent of this Attachment A.

# MONSANTO COMPANY CHESTERFIELD VILLAGE CAMPUS

CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI

## PRELIMINARY PLAN

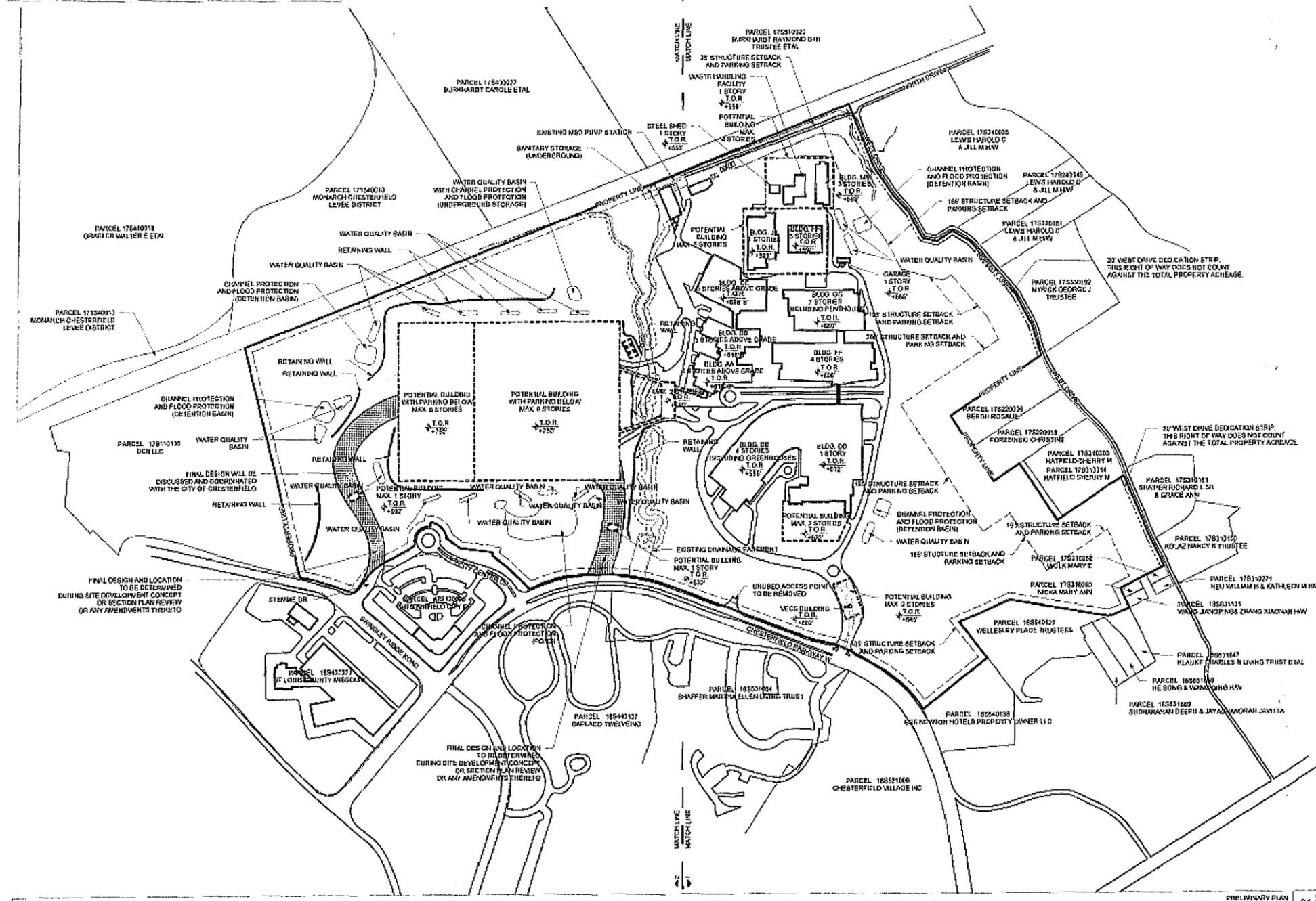
SHEET NUMBER	SHEET NAME	SCALE
AD 3.000	COVER SHEET PRELIMINARY PLAN	1:200
AD 3.001	PRELIMINARY PLAN 1 POTENTIAL USES & STRUCTURES EXISTING & POTENTIAL, CONTOURS LOCATION OF TREE MASSES (6" DIA. AND MORE) POTENTIAL INGRESSES & EGRESS TO SITE (SANITATION & DRAINAGE FACILITIES)	1:100
AD 3.002	PRELIMINARY PLAN 2 POTENTIAL USES & STRUCTURES EXISTING & POTENTIAL, CONTOURS LOCATION OF TREE MASSES (6" DIA. AND MORE) POTENTIAL INGRESSES & EGRESS TO SITE (SANITATION & DRAINAGE FACILITIES)	1:100
AD 3.003	TREE STAND DELINEATION - SURROUND	N.T.S.
AD 3.004	TREE STAND DELINEATION - DIMENSIONS	N.T.S.
AD 3.005	8 FE. SECTIONS OF PRELIMINARY PLAN	1:100
AD 3.006	8 FE. LINE SECTION	AS NOTED
ESR.1	EXISTING SITE RESOURCES MAP	1:100

PROPERTY	LAND USE	ZONING	EXISTING USE	ORDINANCE NO.
NORTH	FARM	FLOOD PLAN NONURBAN	FARM	
SOUTH	COMMERCIAL PLANNED COMMERCIAL RESIDENCE DISTRICT (PCA)		PUBLIC BUILDING	
EAST	RESIDENTIAL NON-URBAN RESIDENCE DISTRICT (R2, R4)		RESIDENTIAL	
WEST	COMMERCIAL PLANNED COMMERCIAL		HOTEL	

[Symbol]	GREEN-ROOFS
[Symbol]	OFFICES
[Symbol]	PARKING
[Symbol]	UTILITY (MAINTENANCE)
[Symbol]	FUTURE ACCESS POINT
[Symbol]	EXISTING TREE
[Symbol]	DUSTING CONTOUR LINE
[Symbol]	POTENTIAL MODIFIED CONTOUR LINE
[Symbol]	NEW CONTOUR LINE
[Symbol]	PROPERTY LINE
[Symbol]	25' STRUCTURE SETBACK AND PARKING SETBACK EXCEPT WHERE SHOWN OTHERWISE
[Symbol]	30' WEST DRIVE DEDICATION STRIP
[Symbol]	ADJACENT PROPERTY BOUNDARY LINE
[Symbol]	100-YEAR FLOOD PLAIN
[Symbol]	STREAM BUFFER SETBACK
[Symbol]	STREAM BUFFER
[Symbol]	DRAINAGE ENHANCEMENT
[Symbol]	POTENTIAL BUILDING
[Symbol]	EXISTING BUILDING
[Symbol]	ROAD EDGE
[Symbol]	WATER QUALITY BASIN AND DETENTION BASIN
[Symbol]	RETAINING WALLS
[Symbol]	MATCH LINE

ALL CONTOURS AT 1' INTERVAL: 5.71' ELEVATION AT LEVEL 01, TOP OF FLOOR: 567' - BASED ON MOND 78 T.O.M. IS MAXIMUM EXCLUDING CURB AND STACKS

CITY OF CHESTERFIELD  
PLANNED DISTRICT ORDINANCE  
ATTACHMENT B

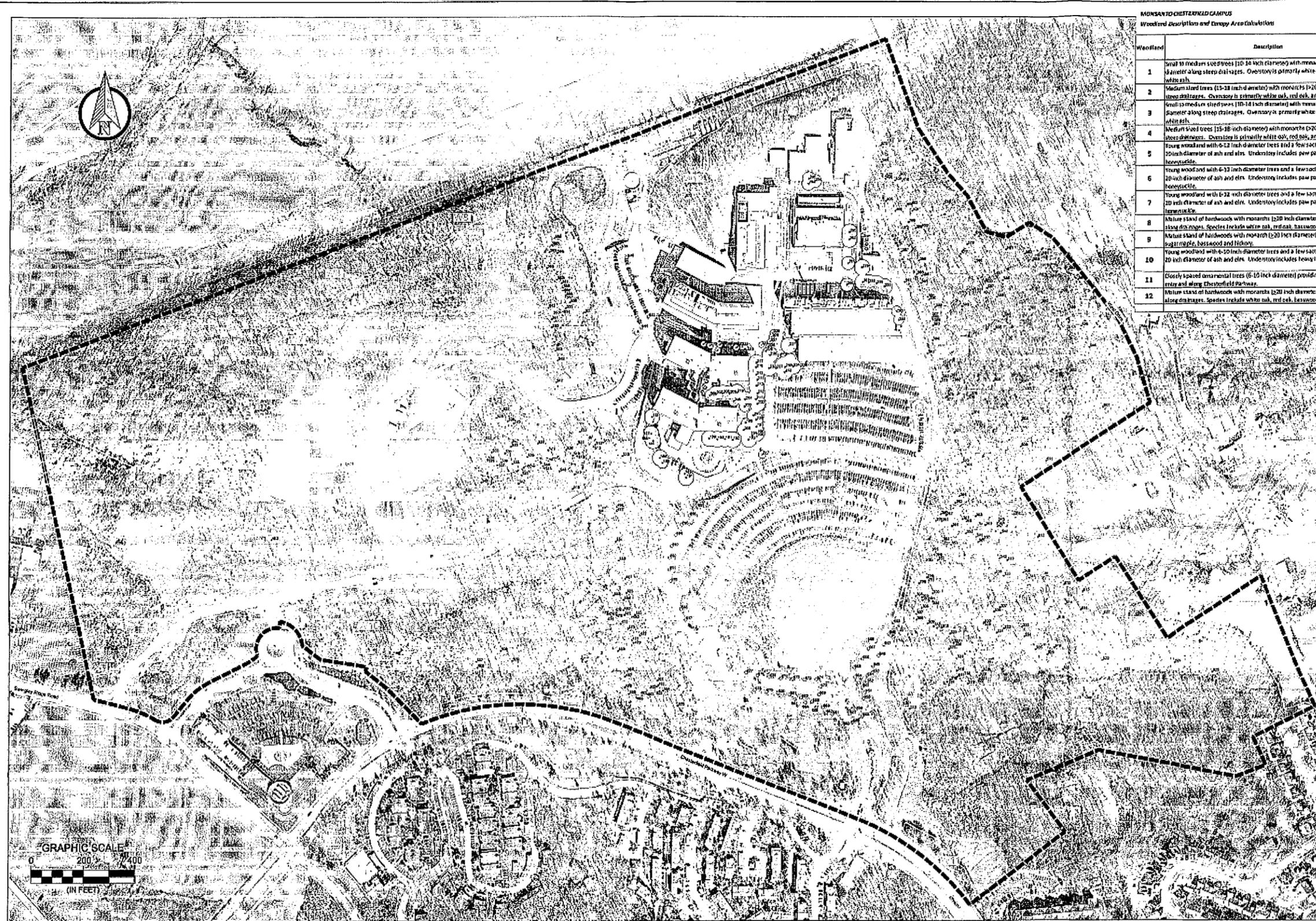


REVISION  
A1 - 1.200

PRELIMINARY PLAN  
SCALE: 1:200 01

<p>DESIGNED BY RAFEL VINCIGUERRA RAFAEL VINCIGUERRA ARCHITECTS PC 10000 W. BIRCHWOOD BLVD. SUITE 100 ST. LOUIS, MO 63141 TEL: 314.991.1111 WWW.RVA.ARCHITECTS.COM</p>	<p>PROJECT NAME AND LOCATION MONSANTO COMPANY CHESTERFIELD VILLAGE CAMPUS 1200 CHESTERFIELD PARKWAY WEST CHESTERFIELD, MISSOURI</p>	<p>DATE AUGUST 2018</p>	<p>SCALE 1:200</p>	<p>PROJECT NUMBER AD 3.000</p>	<p>DATE AUGUST 2018</p>	<p>SCALE 1:200</p>	<p>PROJECT NUMBER AD 3.000</p>
---	---	-----------------------------	------------------------	------------------------------------	-----------------------------	------------------------	------------------------------------





**MONSANTO CHESTERFIELD CAMPUS**  
Woodland Description and Canopy Area Data

Woodland	Description	Canopy Area (acres)
1	Small to medium sized trees (10-20 inch diameter) with morachis (20 inch diameter) along steep drainage. Overstory is primarily white oak, red oak, and white ash.	1.431
2	Medium sized trees (15-20 inch diameter) with morachis (20 inch diameter) along steep drainage. Overstory is primarily white oak, red oak, and white ash.	0.810
3	Small to medium sized trees (10-14 inch diameter) with morachis (20 inch diameter) along steep drainage. Overstory is primarily white oak, red oak, and white ash.	3.233
4	Medium sized trees (15-18 inch diameter) with morachis (20 inch diameter) along steep drainage. Overstory is primarily white oak, red oak, and white ash.	0.714
5	Young wood with 6-12 inch diameter trees and a few scattered larger trees (12-20 inch diameter) of ash and elm. Understory includes paw paw and heavy invasive honeysuckle.	10.112
6	Young wood with 6-12 inch diameter trees and a few scattered larger trees (12-20 inch diameter) of ash and elm. Understory includes paw paw and heavy invasive honeysuckle.	2.203
7	Young wood with 6-12 inch diameter trees and a few scattered larger trees (12-20 inch diameter) of ash and elm. Understory includes paw paw and heavy invasive honeysuckle.	5.303
8	Mature stand of hardwoods with morachis (20 inch diameter) on north slope and steep drainage. Species include white oak, red oak, basswood.	13.092
9	Mature stand of hardwoods with morachis (20 inch diameter) species of red oak, sugar maple, basswood and hickory.	0.873
10	Young wood with 6-10 inch diameter trees and a few scattered larger trees (12-20 inch diameter) of ash and elm. Understory includes heavy invasive honeysuckle.	13.681
11	Closely spaced ornamental trees (6-10 inch diameter) providing a buffer along main entry and along Chesterfield Parkway.	1.721
12	Mature stand of hardwoods with morachis (20 inch diameter) on north slope and along drainage. Species include white oak, red oak, basswood and hickory.	50.829
<b>TOTAL</b>		<b>110.108</b>



- Approximate study area (110.201 acres)
- Mapped tree and tree number
- Monarch tree and tree number are located in woodlands (W1-W12)
- Mapped tree with canopy spread for trees in non-woodland areas
- Woodlands (110.108 acres)
- Non-woodlands (97.816 acres)

Woodland Canopy Area	110.108 acres
Non-Woodland Canopy Area	2.327 acres
<b>Total Canopy On-Site</b>	<b>112.435 acres</b>

Prepared by  
**DAVEY**  
 RESOURCE GROUP  
 A Division of The Davey Tree Expert Company

Prepared for  
**Civil Design, Inc.**

**Tree Stand Delineation Map**  
 700 Chesterfield Parkway  
 200 Acres, Chesterfield, Missouri

Tree data used to produce this map were collected in March and June 2013 and April 11, 2014 and revised May 18, 2015

Tree Stand Delineation mapping prepared by: Ken Christensen, ISA Board Certified Arborist (A-0590)

Sheet 1  
of 2

TRAFFIC ENGINEER GREG BRADY 1280 OLIVE BRIDGEWAY, SUITE 200 ST. LOUIS, MISSOURI 63104 P: 314.878.5634 F: 314.878.5637	CIVIL ENGINEER JOHN DEWITT 1836 SOUTH FIFTH STREET ST. LOUIS, MISSOURI 63104 P: 314.862.4321 F: 314.862.4328	ARCHITECT DANIEL WILSON ARCHITECTS PC 29 W. MAIN STREET ST. LOUIS, MO 63102 P: 314.862.4321 F: 314.862.4328	OWNER MONSANTO COMPANY 500 NORTH UNIVERSITY BOULEVARD ST. LOUIS, MISSOURI 63101	PROJECT NAME AND LOCATION MONSANTO COURTYARD CHESTERFIELD VILLAGE CAMPUS CHESTERFIELD, MISSOURI	DRAWN BY JACOB MCMANS DATE 05-20-15	CHECKED BY KEN CHRISTENSEN DATE 05-20-15	PROJECT NUMBER 893.100	DRAWN FOR RAFAEL VINDO ARCHITECTS PC 1001 MONROE STREET CHESTERFIELD, MISSOURI 63017	DRAWN AT TITLE TREE STAND DELINEATION DIAGRAM
---	--	---	--	--	--	---	---------------------------	---	---





# MONSANTO COMPANY CHESTERFIELD VILLAGE CAMPUS

CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI

## PRELIMINARY PLAN

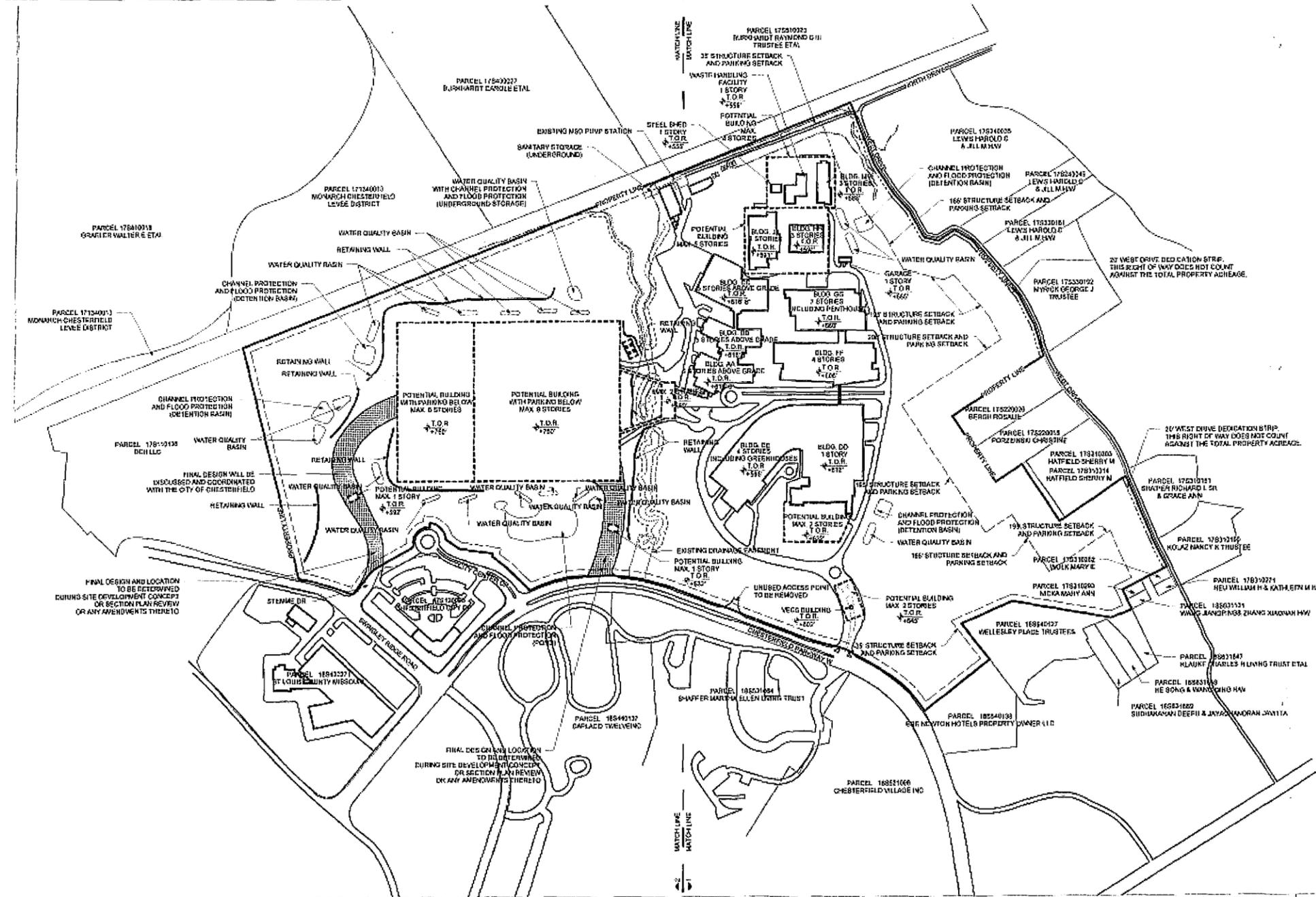
SHEET NUMBER	SHEET NAME	SCALE
AD 3.000	COVER SHEET PRELIMINARY PLAN	1:200
AD 3.010	PRELIMINARY PLAN 1 POTENTIAL USES & STRUCTURES EXISTING & POTENTIAL, CONTOURS LOCATION OF TREE BASES (IF DATA AND MORE) POTENTIAL INGRESS & EGRESS TO SITE (SANITATION & DRAINAGE FACILITIES)	1:200
AD 3.011	PRELIMINARY PLAN 2 POTENTIAL USES & STRUCTURES EXISTING & POTENTIAL CONTOURS LOCATION OF TREE BASES (IF DATA AND MORE) POTENTIAL INGRESS & EGRESS TO SITE (SANITATION & DRAINAGE FACILITIES)	1:100
AD 3.012	TREE STAND DELINEATION - DIAGRAM	N.T.S.
AD 3.013	TREE STAND DELINEATION - DIMENSIONS	N.T.S.
AD 3.014	8 TIE SECTIONS OF PRELIMINARY FORM	1:100
AD 3.015	SECTION LINE SHEET	AS NOTED
SR-1	EXISTING SITE RESOURCES MAP	1:100

PROPERTY	LAND USE	ZONING	EXISTING USE	ORDINANCE NO.
NORTH	FARM	FLOOD PLAIN NON-URBAN	FARM	
SOUTH	COMMERCIAL RESIDENTIAL	PLANNED COMMERCIAL RESIDENCE DISTRICT (MCR)	PUBLIC BUILDING	
EAST	RESIDENTIAL	NON-URBAN RESIDENCE DISTRICT (NR)	RESIDENTIAL	
WEST	COMMERCIAL	PLANNED COMMERCIAL	HOTEL	

SYMBOL	DESCRIPTION
[Symbol]	GREENHOUSES
[Symbol]	OFFICES
[Symbol]	PARKING
[Symbol]	UTILITY (MAINTENANCE)
[Symbol]	FUTURE ACCESS POINT
[Symbol]	EXISTING TREE
[Symbol]	EXISTING CONTOUR LINE
[Symbol]	POTENTIAL MODIFIED CONTOUR LINE
[Symbol]	NEW CONTOUR LINE
[Symbol]	PROPERTY LINE
[Symbol]	25' STRUCTURE SETBACK AND PARKING SETBACK EXCEPT WHERE SHOWN OTHERWISE
[Symbol]	30' WEST DRIVE DEDICATION STRIP
[Symbol]	ADJACENT PROPERTY BOUNDARY LINE
[Symbol]	100 YEAR FLOOD PLAIN
[Symbol]	STREAM BUFFER SETBACK
[Symbol]	STREAM BUFFER
[Symbol]	STORAGE BASIN
[Symbol]	POTENTIAL BUILDING
[Symbol]	EXISTING BUILDING
[Symbol]	ROAD EDGE
[Symbol]	WATER QUALITY BASIN AND DETENTION BASIN
[Symbol]	RETAINING WALLS
[Symbol]	MATCH LINE

ALL CONTOURS AT 48L INTERVAL 5 FT ELEVATION AT LEVEL 01 TOP OF FLOOR 000 - BASED ON NAD 83 T.O.B. MAXIMUM EXCLUSIVE BRUSH STACKS

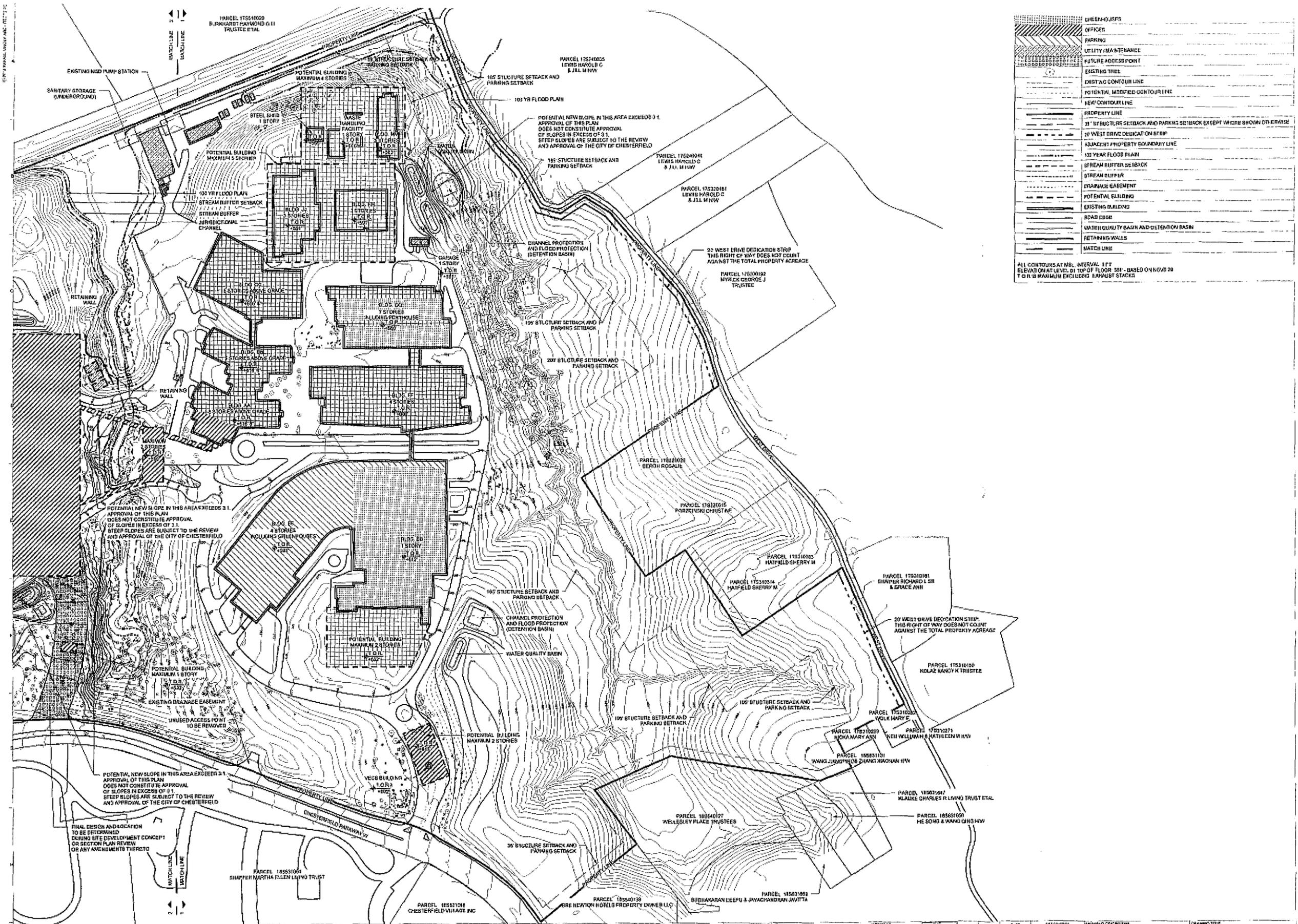
CITY OF CHESTERFIELD  
PLANNED DISTRICT ORDINANCE  
ATTACHMENT B



PRELIMINARY PLAN  
SCALE: 1:200  
01

RECEIVED  
JUL - 1 2018

<p>DESIGNED BY 172212 ENG122N GEO PLAN 1200 S. W. BROADWAY SUITE 400 ST. LOUIS, MO 63104 TEL: 314.862.1200 FAX: 314.862.1207</p>	<p>SCALE ENGINEER CIVIL ENGINEER 1200 S. W. BROADWAY SUITE 400 ST. LOUIS, MO 63104 TEL: 314.862.1200 FAX: 314.862.1207</p>	<p>PROJECT MONSANTO COMPANY 1200 NORTH BROADWAY SUITE 400 ST. LOUIS, MO 63104</p>	<p>DATE 08/01/18</p>	<p>PROJECT NAME AND LOCATION MONSANTO COMPANY CHESTERFIELD VILLAGE CAMPUS 1200 NORTH BROADWAY SUITE 400 ST. LOUIS, MO 63104</p>	<p>PREPARED BY RAFAEL VINZYL ARCHITECTS PC 1200 S. W. BROADWAY SUITE 400 ST. LOUIS, MO 63104 TEL: 314.862.1200 FAX: 314.862.1207</p>	<p>PROJECT NUMBER 481 100</p>	<p>SCALE 1:200</p>	<p>DRAWING NUMBER AD 3.000</p>
--	--	---	--------------------------	---	--	-----------------------------------	------------------------	------------------------------------



[Symbol]	DRAINAGE
[Symbol]	OFFICE
[Symbol]	PARKING
[Symbol]	UTILITY MAINTENANCE
[Symbol]	FUTURE ACCESS POINT
[Symbol]	EXISTING TREE
[Symbol]	EXISTING CONTOUR LINE
[Symbol]	POTENTIAL MODIFIED CONTOUR LINE
[Symbol]	NEW CONTOUR LINE
[Symbol]	PROPERTY LINE
[Symbol]	33' STRUCTURE SETBACK AND PARKING SETBACK EXCEPT WHERE SHOWN OTHERWISE
[Symbol]	25' WEST DRIVE DEDICATION STRIP
[Symbol]	ADJACENT PROPERTY BOUNDARY LINE
[Symbol]	100 YEAR FLOOD PLAN
[Symbol]	STREAM BUFFER SETBACK
[Symbol]	STREAM BUFFER
[Symbol]	DRAINAGE EASEMENT
[Symbol]	POTENTIAL BUILDING
[Symbol]	EXISTING BUILDING
[Symbol]	ROAD EDGE
[Symbol]	WATER QUALITY BASIN AND DETENTION BASIN
[Symbol]	RETAINING WALLS
[Symbol]	MATCH LINE

ALL CONTOURS AT 1' INTERVAL, 3 FT ELEVATION AT LEVEL OF TOP OF FLOOR 500' - BASED ON NOV 20 10 G L S MANUALLY EXCLUDING EXHAUST STACKS

<p>PROJECT NUMBER: 093.100</p> <p>DATE: 08-25-2014</p> <p>SCALE: 1:100</p>	<p>OWNER: MONSANTO</p> <p>DESIGNER: MONSANTO</p> <p>DATE: 08-25-2014</p>	<p>PROJECT NAME AND LOCATION: MONSANTO CHESTERFIELD VILLAGE GMP/PC</p> <p>PROJECT NUMBER: 093.100</p> <p>SCALE: 1:100</p>	<p>DATE: 08-25-2014</p> <p>SCALE: 1:100</p>	<p>PROJECT NUMBER: 093.100</p> <p>SCALE: 1:100</p>	<p>DATE: 08-25-2014</p> <p>SCALE: 1:100</p>
--	--	---	---	--	---

10' BY 10' PARALLEL UNITS ONLY (SEE SHEET 202)

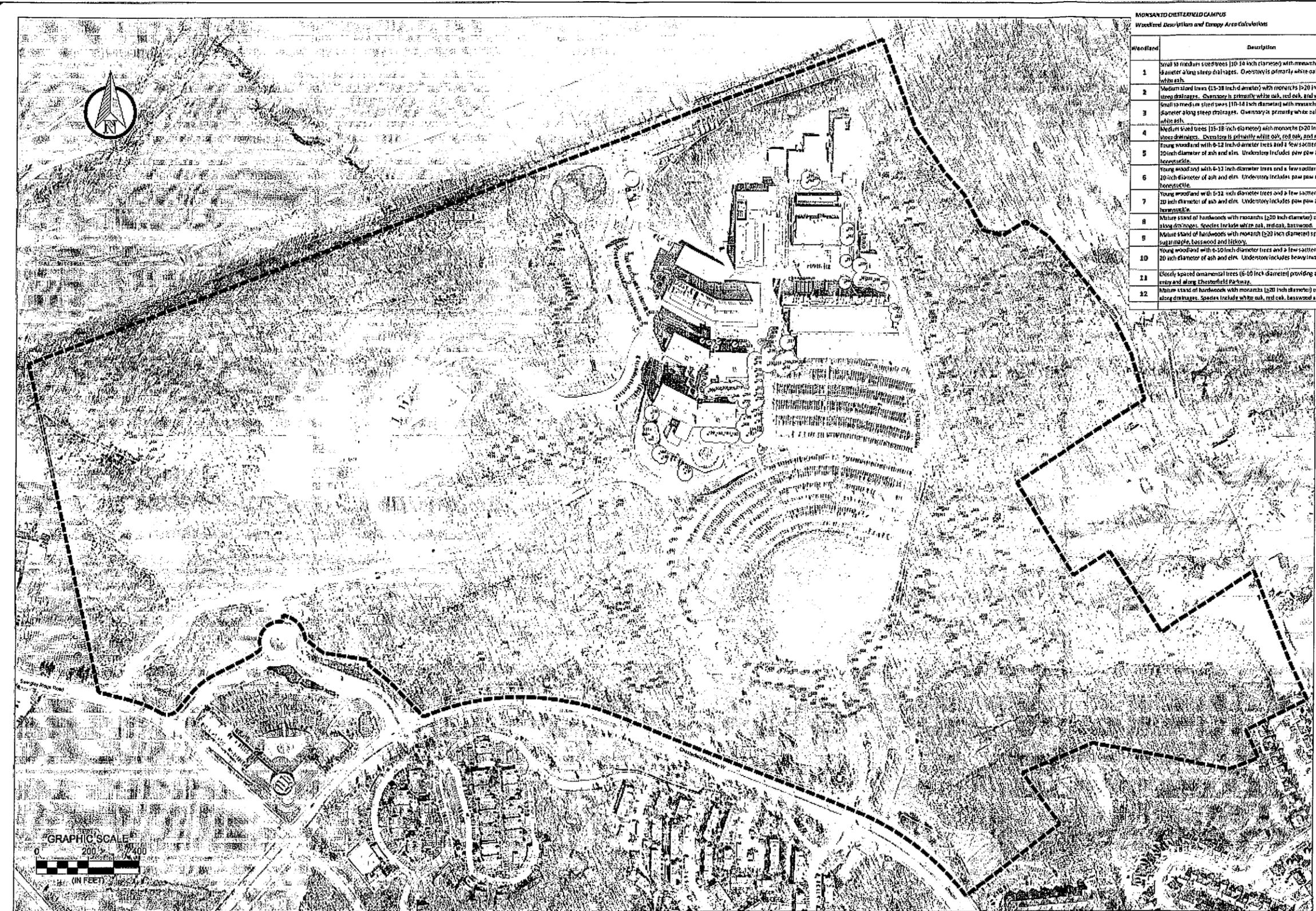


[Symbol]	LABORATORIES
[Symbol]	GREENHOUSES
[Symbol]	OFFICES
[Symbol]	PARKING
[Symbol]	UTILITY / MAINTENANCE
[Symbol]	FUTURE ACCESS POINT
[Symbol]	EXISTING TREE
[Symbol]	EXISTING CONTOUR LINE
[Symbol]	POTENTIAL MODIFIED CONTOUR LINE
[Symbol]	NEW CONTOUR LINE
[Symbol]	PROPERTY LINE
[Symbol]	30' STRUCTURE SETBACK AND PARKING SETBACK EXCEPT WHERE SHOWN OTHERWISE
[Symbol]	30' WEST END OCCUPATION STRIP
[Symbol]	ADJACENT PROPERTY BOUNDARY LINE
[Symbol]	100 YEAR FLOOD PLAN
[Symbol]	STREAM BUFFER SETBACK
[Symbol]	STREAM BUFFER
[Symbol]	CRANWASE EMBANKMENT
[Symbol]	POTENTIAL BUILDING
[Symbol]	EXISTING BUILDING
[Symbol]	ROAD EDGE
[Symbol]	WATER QUALITY BASIN AND DETENTION BASIN
[Symbol]	RETAINING WALLS
[Symbol]	MATCH LINE

ALL CONTOURS AT 5' INTERVAL 5' FT ELEVATION AT LEVEL OR TOP OF FLOOR OR - BASED ON NAD 83 T.D.R. IS MAXIMUM EXCLUDING EXISTING STRUCTURES

<p>TRAFFIC ENGINEER CDD TRAFFIC 1800 OLIVE BOWLINGWAY, SUITE 400 ST. LOUIS, MISSOURI 63104 T 314 878 0844 F 314 878 0817</p>	<p>CIVIL ENGINEER CIVIL DESIGN INC. 180 SOUTH THIRTY STREET ST. LOUIS, MISSOURI 63104 T 314 880 4421 F 314 863 5578</p>	<p>ARCHITECT RAFAEL VINCI ARCHITECTS PC 25 WADSWORTH STREET NEW YORK, NY 10011 T 212 904 5000 F 917 418 9589</p>	<p>LANDSCAPE ARCHITECT MILES 1601 TOWNSHIP CROWN AVENUE SUITE 1000 ST. LOUIS, MISSOURI 63104 T 314 651 4000</p>	<p>OWNER MONSANTO COMPANY 801 NORTH ARDENBOWLE AVENUE ST. LOUIS, MISSOURI 63107</p>	<p>DESIGNER THE ARCHITECTS GROUP 1000 SOUTH BROADWAY ST. LOUIS, MISSOURI 63102 T 314 436 1000 F 314 436 1001</p>	<p>PROJECT NAME AND LOCATION MONSANTO CHESTERFIELD VILLAGE CAMPUS 1000 SOUTH BROADWAY ST. LOUIS, MISSOURI 63107</p>	<p>DATE 10/20/10</p>	<p>DESCRIPTION PRELIMINARY PLAN-2</p>	<p>DESIGNER RAFAEL VINCI ARCHITECTS PC</p>	<p>PROJECT NUMBER 1800</p>	<p>SCALE 1:100</p>	<p>DRAWING NUMBER A0.3.011</p>
--	---	--	---	---	--	---	--------------------------	---	--	--------------------------------	------------------------	------------------------------------

10/12/14 MONSANTO, MOORE, VANDERKAM/PC



MONSANTO CHESTERFIELD CAMPUS Woodland Description and Canopy Area Calculations		
Woodland	Description	Canopy Area (Acres)
1	Small to medium sized trees (10-18 inch diameter) with mono-cots (20 inch diameter) along steep drainage. Overstory is primarily white oak, red oak, and white ash.	1.431
2	Medium sized trees (15-20 inch diameter) with mono-cots (20 inch diameter) along steep drainage. Overstory is primarily white oak, red oak, and white ash.	0.807
3	Small to medium sized trees (10-18 inch diameter) with mono-cots (20 inch diameter) along steep drainage. Overstory is primarily white oak, red oak, and white ash.	3.257
4	Medium sized trees (15-18 inch diameter) with mono-cots (20 inch diameter) along steep drainage. Overstory is primarily white oak, red oak, and white ash.	0.384
5	Young woodland with 6-12 inch diameter trees and a few scattered larger trees (20-24 inch diameter) of ash and elm. Understory includes paw paw and heavy invasive horsetail.	10.152
6	Young woodland with 6-12 inch diameter trees and a few scattered larger trees (20-24 inch diameter) of ash and elm. Understory includes paw paw and heavy invasive horsetail.	3.723
7	Young woodland with 6-12 inch diameter trees and a few scattered larger trees (20-24 inch diameter) of ash and elm. Understory includes paw paw and heavy invasive horsetail.	5.350
8	White stand of hardwoods with mono-cots (20 inch diameter) on north slope and along drainage. Species include white oak, red oak, basswood.	13.092
9	White stand of hardwoods with mono-cots (20 inch diameter) species of red oak, sugar maple, basswood and Hickory.	0.875
10	Young woodland with 6-10 inch diameter trees and a few scattered larger trees (12-20 inch diameter) of ash and elm. Understory includes heavy invasive horsetail.	13.058
11	Densely spaced ornamental trees (6-10 inch diameter) providing a buffer along main entry and along Chesterfield Parkway.	1.215
12	White stand of hardwoods with mono-cots (20 inch diameter) on north slope and along drainage. Species include white oak, red oak, basswood and Hickory.	30.808
<b>TOTAL</b>		<b>110.108</b>

- Appropriate study area (210,251 acres)
- ① Mapped tree and tree number
- ② Mapped tree and tree number and canopy spread for trees in non-woodland areas
- Woodlands (110,108 acres)
- Non-woodlands (97,316 acres)

Woodland Canopy Area	110,108 acres
Non-Woodland Canopy Area	2,327 acres
<b>Total Canopy On-Site</b>	<b>112,435 acres</b>

Prepared by  
  
 A Division of The Davey Tree Expert Company

Prepared for  
**Civil Design, Inc.**

**Tree Stand Delineation Map**  
 700 Chesterfield Parkway  
 200 Acres, Chesterfield, Missouri

Tree Stand Delineation prepared by:  
 Jacob McMains, ISA Board Certified Arborist (MIW-5328A)

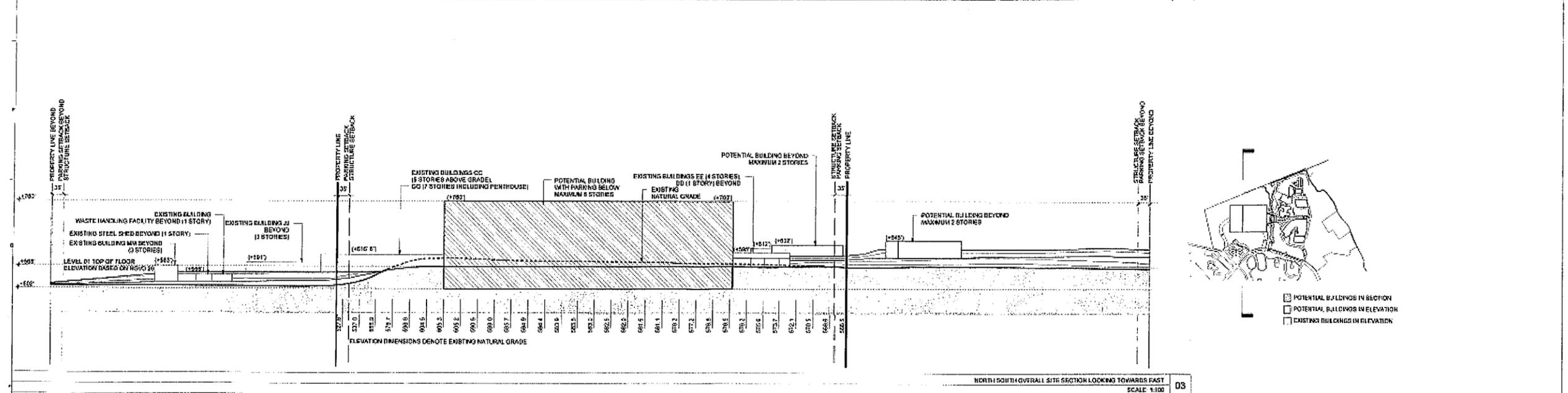
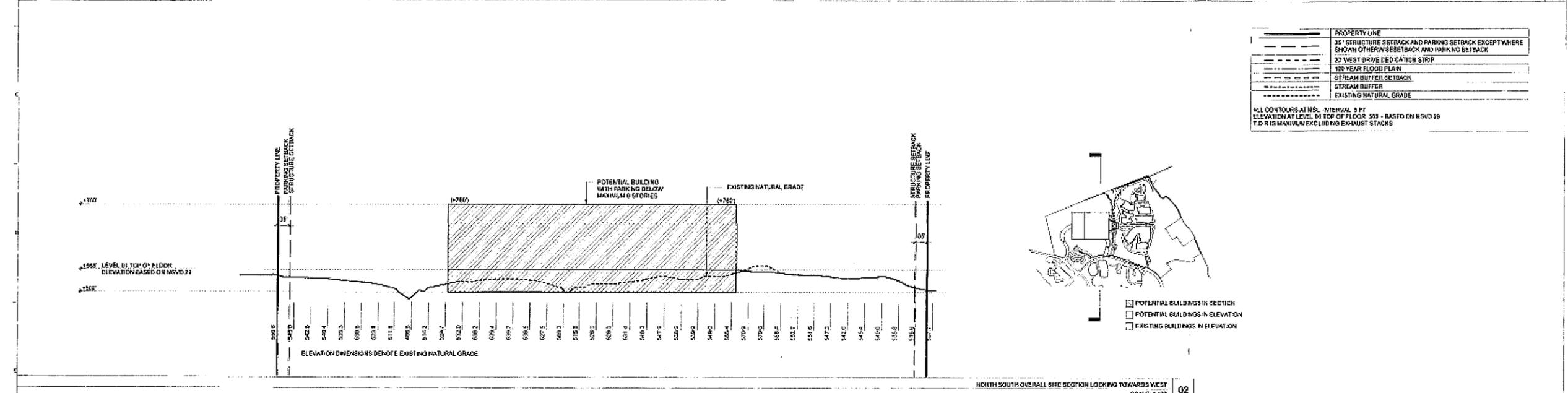
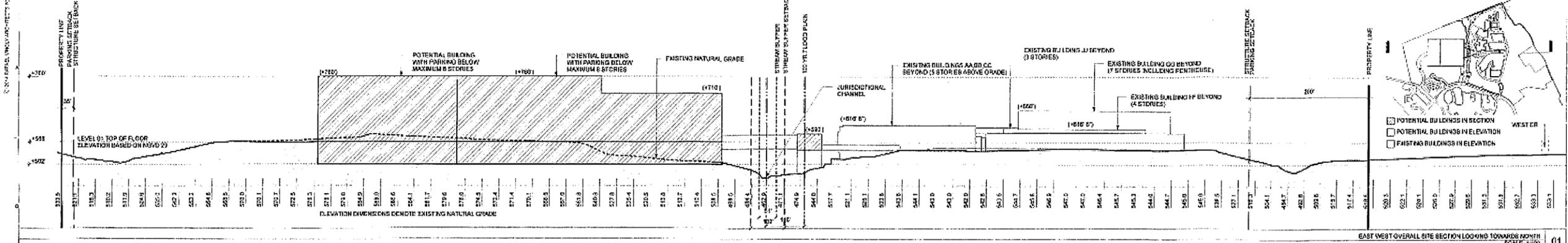
Tree data used to produce this map were collected in March and June 2013 and April 11, 2014 and revised May 18, 2015

Tree Stand Delineation mapping prepared by: Ken Christensen, ISA Board Certified Arborist (A-0890)

Sheet 1  
 of 2

<p>PROJECT CHARGED TO:          CIVIL DESIGN, INC.          1500 SOUTH FTH STREET          ST. LOUIS, MO 63104          T 314.875.0044 F 314.875.0047</p>	<p>CONTRACTOR:          CIVIL DESIGN, INC.          1500 SOUTH FTH STREET          ST. LOUIS, MO 63104          T 314.875.0044 F 314.875.0047</p>	<p>ARCHITECT:          RAFAEL VINDLY ARCHITECTS PC          25 WILSON STREET          MOYOCK, VA 23113          T 753.814.0000 F 753.814.1000</p>	<p>OWNER:          MONSANTO COMPANY          300 NORTH LINCOLN BOULEVARD          ST. LOUIS, MO 63107</p>	<p>ENCLOSURE:          MONSANTO COMPANY          CHESTERFIELD VILLAGE CAMPUS          700 CHESTERFIELD PARKWAY          CHESTERFIELD, MO 63017</p>	<p>DATE:          05/18/2015</p>	<p>DESCRIPTION:          TREE STAND DELINEATION</p>	<p>DESIGNED BY:          RAFAEL VINDLY ARCHITECTS PC</p>	<p>ENCLOSURE STATUS:          CHANGE OF ZONING APPLICATION</p>	<p>PROJECT NUMBER:          593.100</p>	<p>SCALE:          N.T.S.</p>	<p>DATE PLOTTED:          05/18/2015</p>	<p>PROJECT TITLE:  <b>TREE STAND DELINEATION DIAGRAM</b></p>
---	---	---	---	--	--------------------------------------	---	--	--	---	-----------------------------------	--	--





PROPERTY LINE	
---	35' STRUCTURE SETBACK AND PARKING SETBACK EXCEPT WHERE SHOWN OTHERWISE
---	22' WEST DRIVE DEDICATION STRIP
---	100 YEAR FLOOD PLAN
---	STREAM BUFFER SETBACK
---	STREAM BUFFER
---	EXISTING NATURAL GRADE

ALL CONTOURS AT 1' INTERVAL 2 FT ELEVATION AT LEVEL D1 TOP OF FLOOR 200 - BASED ON NGVD 29 TO 2 FT IS MAXIMUM EXCLUDING EXHIBIT STACKS

<b>TRAFFIC ENGINEER</b> ERIC TRAPP 1400 CHERRY HILL BLVD, SUITE 200 ST. LOUIS, MO 63103 T 314-620-6544 F 314-670-5571	<b>CIVIL ARCHITECT</b> CIVIL DESIGN, INC. 1920 SOUTH 11TH STREET GLENDEN, MO 63114 T 314-895-4077 F 314-883-8378	<b>ARCHITECT</b> RAFAEL WHOLY ARCHITECTURE 25 WARDEN STREET BRUNSWICK, MO 63012 T 314-874-2000 F 314-874-2000	<b>SEAL</b> 	<b>ENGINEER</b> RAFAEL WHOLY ARCHITECTURE 25 WARDEN STREET BRUNSWICK, MO 63012 T 314-874-2000 F 314-874-2000	<b>PROJECT NAME AND LOCATION</b> MONSANTO MONSANTO COMPANY CHESTERFIELD VILLAGE CAMPUS 120 CHESTERFIELD PARKWAY WEST CHESTERFIELD, MO 63017	<b>KEY PLAN</b> 	<b>DATE</b> 08/26/2018	<b>DESCRIPTION</b> PRELIMINARY SITE SECTIONS	<b>SCALE/DRAWN BY</b> RAFAEL WHOLY ARCHITECTS PC	<b>DATE/TITLE</b> 08/26/2018 <b>SITE SECTIONS OF PRELIMINARY FORM</b>
<b>DOCUMENT STATUS</b> CHANGE OF ZONING APPLICATION								<b>PROJECT NUMBER</b> 600-132	<b>SCALE</b> 1:100	<b>DATE/TITLE</b> 08/26/2018 <b>A03.03D</b>





BILL NO. 3108

ORDINANCE NO. \_\_\_\_\_

**AN ORDINANCE AMENDING THE UNIFIED DEVELOPMENT CODE OF THE CITY OF CHESTERFIELD BY CHANGING THE BOUNDARIES OF AN EXISTING "PC" PLANNED COMMERCIAL DISTRICT WITH A "MAA" MUSEUM AND ARTS OVERLAY DISTRICT TO A NEW "PC" PLANNED COMMERCIAL DISTRICT FOR A 5.104 ACRE TRACT LOCATED NORTHEAST OF THE INTERSECTION OF CHESTERFIELD AIRPORT ROAD AND CHESTERFIELD COMMONS DRIVE (P.Z. 10-2015 KEMP AUTO MUSEUM [16955 CHESTERFIELD AIRPORT RD.]—17T140211).**

**WHEREAS**, the petitioner, Doster Ullom & Boyle, LLC., has requested a change in zoning from an existing "PC" Planned Commercial District with a "MAA" Museum and Arts Overlay District to a new "PC" Planned Commercial District for a 5.104 acre tract located northeast of the intersection of Chesterfield Airport Road and Chesterfield Commons Drive; and,

**WHEREAS**, a Public Hearing was held before the Planning Commission on November 23, 2015; and,

**WHEREAS**, the Planning Commission, having considered said request, recommended approval of the change of zoning; and,

**WHEREAS**, the Planning and Public Works Committee, having considered said request, recommended approval of the change of zoning; and,

**WHEREAS**, the City Council, having considered said request, voted to approve the change of zoning request.

**NOW THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:**

**Section 1.** City of Chesterfield Unified Development Code and the Official Zoning District Map, which are part thereof, are hereby amended by establishing a "PC" Planned Commercial District designation for 5.104 acres located northeast of the intersection of Chesterfield Airport Road and Chesterfield Commons Drive and as described as follows:

A tract of land being part of Adjusted New Parcel 2 of the Boundary Adjustment Plat, recorded in Plat Book 350 Page 81, in U.S. Survey 2031,

Township 45 North Range 4 East, City of Chesterfield, St. Louis County, Missouri and being particularly described as follows:

Beginning at the southwest corner of said adjusted new parcel 2, said beginning point being also a point on the north line of Chesterfield Airport Road, of varying width; thence, northwardly along the west line of said adjusted new parcel 2, North 12 Degree 42 Minutes 40 Seconds West 26.61 feet, North 02 Degree 08 Minutes 554 Seconds West 84.73 feet and North 01 Degree 38 Minutes 32 Seconds East 194.51 feet to a point on the south line of Interstate Highway 64, of varying width; thence eastwardly along said south line, South 84 Degrees 06 Minutes 54 Seconds East 863.23 feet to a point; thence South 00 Degrees 25 Minutes 29 Seconds East 210.35 feet to a point on the aforesaid north line of Chesterfield Airport Road, of varying width; thence westwardly along said north line South 89 Degrees 35 Minutes 06 Seconds West 856.80 feet to the point of beginning and containing 5.104 acres according to calculations by Volz, Inc. during February 2003.

**Section 2.** The preliminary approval, pursuant to the City of Chesterfield Unified Development Code is granted, subject to all of the ordinances, rules and regulations and the specific conditions as recommended by the Planning Commission in its recommendation to the City Council, which are set out in the "Attachment A" and the preliminary plan indicated as "Attachment B" which is attached hereto as and made part of.

**Section 3.** The City Council, pursuant to the petition filed by Doster Ullom & Boyle, LLC in P.Z. 10-2015, requesting the rezoning embodied in this ordinance, and pursuant to the recommendation of the City of Chesterfield Planning Commission that said petition be granted and after a public hearing, held by the Planning Commission on the 23<sup>rd</sup> day of November 2015, does hereby adopt this ordinance pursuant to the power granted to the City of Chesterfield under Chapter 89 of the Revised Statutes of the State of Missouri authorizing the City Council to exercise legislative power pertaining to planning and zoning.

**Section 4.** This ordinance and the requirements thereof are exempt from the warning and summons for violations as set out in Section 8 of the City of Chesterfield Unified Development Code.

**Section 5.** This ordinance shall be in full force and effect from and after its passage and approval.

Passed and approved this \_\_\_\_\_ day of \_\_\_\_\_, 2016

\_\_\_\_\_  
PRESIDING OFFICER

\_\_\_\_\_  
Bob Nation, MAYOR

ATTEST:

\_\_\_\_\_  
Vickie Hass, CITY CLERK

FIRST READING HELD: 8/15/2016

## ATTACHMENT A

**All provisions of the City of Chesterfield City Code shall apply to this development except as specifically modified herein.**

### **I. SPECIFIC CRITERIA**

#### **A. PERMITTED USES**

1. The uses allowed in this “PC” Planned Commercial District shall be:
  - a. Administrative Offices for Educational or Religious Institutions
  - b. Church and other Places of Worship
  - c. Community Center
  - d. Library
  - e. Postal Stations
  - f. Public Building Facilities Owned or Leased by the City of Chesterfield
  - g. Public Safety Facility
  - h. Art Gallery
  - i. Art Studio
  - j. Auditorium
  - k. Banquet Facility
  - l. Club
  - m. Gymnasium
  - n. Museum
  - o. Reading Room
  - p. Recreation Facility
  - q. Office, Dental
  - r. Office, General
  - s. Office, Medical
  - t. Automobile Dealership
  - u. Automotive Retail Supply

- v. Bakery
- w. Bar
- x. Bowling Center
- y. Brewpub
- z. Coffee Shop
- aa. Grocery, Community
- bb. Grocery, Neighborhood
- cc. Newspaper Stand
- dd. Restaurant, Sit Down
- ee. Restaurant, Take Out
- ff. Restaurant, Fast Food
- gg. Retail Sales Establishment, Community
- hh. Retail Sales Establishment, Neighborhood
- ii. Tackle and Bait Shop
- jj. Animal Grooming Service
- kk. Barber or Beauty Shop
- ll. Broadcasting Studio
- mm. Commercial Service Facility
- nn. Drug Store and Pharmacy
- oo. Dry Cleaning Establishment
- pp. Film Drop-Off and Pick-Up Stations
- qq. Financial Institution, drive-through
- rr. Hospital
- ss. Hotel and Motel
- tt. Hotel and Motel, Extended Stay
- uu. Professional and Technical Service Facility
- vv. Research Laboratory and Facility
- ww. Theatre, Indoor
- xx. Vehicle Repair and Service Facility
- yy. Veterinary Clinic

- zz. College/University
  - aaa. Vocational School
  - bbb. Telecommunications Structure
  - ccc. Telecommunications Tower or Facility
2. The above use “Automobile Dealership” shall be restricted in the following manner:
    - a. Outdoor sales and/or displays shall consist of electric vehicles only.
    - b. Outdoor sales and/or outdoor displays for no more than 75 electric vehicles shall be permitted at any given time.
  3. The above use “Vehicle Repair and Service Facility” shall be restricted to indoor use only and shall be permitted only in conjunction with the use “Automobile Dealership”.
  4. Hours of Operation.
    - a. Uses “t”, “u”, “aa”, “bb”, “cc”, “gg”, “hh”, “ii”, “nn”, and “pp”, above shall be restricted to hours of operation open to the public from 6:00 AM to 11:00 PM. Hours of operation for said use may be expanded for Thanksgiving Day and the day after Thanksgiving upon review and approval of a Special Activities Permit, signed by the property owner and submitted to the City of Chesterfield at least seven (7) business days in advance of said holiday.
    - b. All deliveries and trash pick-ups shall be limited to the hours from 7:00 AM to 11:00 PM.

## **B. FLOOR AREA, HEIGHT, BUILDING AND PARKING STRUCTURE REQUIREMENTS**

1. Height
  - a. The maximum height of the building, exclusive of roof screening, shall not exceed forty (40) feet.
2. Building Requirements
  - a. A minimum of thirty-five percent (35%) openspace is required for this development.
  - b. This development shall have a maximum F.A.R. of 0.55.

### **C. SETBACKS**

#### 1. Structure Setbacks

No building or structure, other than: a freestanding project identification sign, light standards, or flag poles will be located within the following setbacks:

- a. Thirty (30) feet from the right-of-way of Chesterfield Airport Road on the southern boundary of the “PC” District.
- b. Five (5) feet from the eastern boundary of the “PC” District.
- c. Ten (10) feet from the western boundary of the “PC” District.
- d. Thirty (30) feet from the northern boundary of the “PC” District.

#### 2. Parking Setbacks

No parking stall, loading space, internal driveway, or roadway, except points of ingress or egress, will be located within the following setbacks:

- a. Thirty (30) feet from the right-of-way of Chesterfield Airport Road on the southern boundary of the “PC” District.
- b. Five (5) feet from the eastern boundary of the “PC” District.
- c. Ten (10) feet from the western boundary of the “PC” District.
- d. Thirty (30) feet from the northern boundary of the “PC” District except where shown otherwise on the Preliminary Plan.

### **D. PARKING AND LOADING REQUIREMENTS**

1. Parking and loading spaces for this development will be as required in the City of Chesterfield Code.
2. No construction related parking shall be permitted within right of way, on any existing roadways, or adjacent properties. All construction related parking shall be confined to the development.
3. Provide adequate temporary off-street parking for construction employees. Parking on non-surfaced areas shall be prohibited in order to eliminate the condition whereby mud from construction and employee vehicles is tracked onto the pavement causing hazardous roadway and driving conditions.

4. Parking lots shall not be used as streets.

#### **E. LANDSCAPE AND TREE REQUIREMENTS**

1. The development shall adhere to the Landscape and Tree Preservation Requirements of the City of Chesterfield Code.
2. Landscape buffers shall be as shown on the Preliminary Plan marked as Attachment B.

#### **F. SIGN REQUIREMENTS**

1. Signs shall be permitted in accordance with the regulations of the City of Chesterfield Code or a Sign Package may be submitted for the planned district. Sign Packages shall adhere to the City Code and are reviewed and approved by the City of Chesterfield Planning Commission.
2. Installation of a Landscaping and Ornamental Entrance Monument or Identification Signage construction, if proposed, shall be reviewed by the City of Chesterfield, and/or the St. Louis County Department of Highways and Traffic (or MoDOT), for sight distance considerations and approved prior to installation or construction.

#### **G. LIGHT REQUIREMENTS**

Provide a lighting plan and cut sheet in accordance with the City of Chesterfield Code.

#### **H. ARCHITECTURAL**

1. The development shall adhere to the Architectural Review Standards of the City of Chesterfield Code.
2. Trash enclosures: All exterior trash areas will be enclosed with a minimum six (6) foot high sight-proof enclosure complemented by adequate landscaping. The location, material, and elevation of any trash enclosures will be as approved by the City of Chesterfield on the Site Development Plan.

## **I. ACCESS/ACCESS MANAGEMENT**

1. Access to the development from Chesterfield Airport Road shall be as directed by the City of Chesterfield and St. Louis County Department of Transportation, as applicable, and located opposite Chesterfield Commons Drive.
2. If adequate sight distance cannot be provided at the access location(s), acquisition of right-of-way, reconstruction of pavement including correction to the vertical alignment and other off-site improvements may be required to provide the required sight distance as required by the City of Chesterfield and the St. Louis County Department of Transportation.
3. Provide cross access easements and temporary slope construction licenses or other appropriate legal instruments or agreements guaranteeing permanent access between this site and adjacent properties as directed by the City of Chesterfield and St. Louis County Department of Transportation.

## **J. PUBLIC/PRIVATE ROAD IMPROVEMENTS, INCLUDING PEDESTRIAN CIRCULATION**

1. Provide and/or improve sidewalk and curb ramps, in conformance with ADA standards, to a minimum five (5) foot walk along Chesterfield Airport Road. The sidewalk shall provide connectivity to adjacent developments and/or roadways or maintain existing connectivity. The sidewalk shall be privately maintained and may be located within right-of-way controlled by another agency, if permitted by that agency or on private property.
2. Existing sidewalk and curb ramps shall be evaluated and any sidewalk or curb ramp that does not conform to ADA standards shall be removed and replaced.
3. Internal sidewalks shall be provided to the site from the sidewalk along Chesterfield Airport Road creating accessible pedestrian paths to the proposed buildings.
4. Improve Chesterfield Airport Road to one half of the ultimate section including all storm drainage facilities as directed by the St. Louis County Department of Transportation.

5. Construct a two-hundred (200) foot right turn deceleration lane with eight (8) foot shoulders on Chesterfield Airport Road as directed by St. Louis County Department of Transportation.
6. Traffic signal modifications shall be as directed by the St. Louis County Department of Transportation.
7. Obtain approvals from the City of Chesterfield and the St. Louis County Department of Transportation and other entities as necessary for locations of proposed curb cuts and access points, areas of new dedication, signage, and roadway improvements.
8. Additional right-of-way and road improvements shall be provided, as required by the St. Louis County Department of Transportation and the City of Chesterfield.
9. Any work within MoDOT right of way will require a MoDOT permit.
10. All proposed work in MoDOT right of way must comply with MoDOT standards, specifications, conform to MoDOT's Access Management Guidelines with detailed construction plans being received and approved by MoDOT.
11. Due to the close proximity to Interstate 64, sound mitigation is the responsibility of the owner/developer. MoDOT will not provide any noise mitigation measures for this development.
12. Prior to Special Use Permit issuance by the St. Louis County Department of Transportation, a special cash escrow or a special cash escrow supported by an Irrevocable Letter of Credit, must be established with the St. Louis County Department of Transportation to guarantee completion of the required roadway improvements.
13. The developer is advised that utility companies will require compensation for relocation of their facilities within public road right-of-way. Utility relocation cost shall not be considered as an allowable credit against the petitioner's traffic generation assessment contributions. The developer should also be aware of extensive delays in utility company relocation and adjustments. Such delays will not constitute a cause to allow occupancy prior to completion of road improvements.

14. Any request to install a gate at the entrance to this development must be approved by the City of Chesterfield and the St. Louis County Department of Highways and Traffic. No gate installation will be permitted on public right-of-way.
15. If a gate is installed on a street in this development, the streets within the development, or that portion of the development that is gated, shall be private and remain private forever.

#### **K. TRAFFIC STUDY**

1. Provide a traffic study as directed by the City of Chesterfield and/or the St. Louis County Department of Highways and Traffic. The scope of the study shall include internal and external circulation and may be limited to site specific impacts, such as the need for additional lanes, entrance configuration, geometrics, sight distance, traffic signal modifications or other improvements required, as long as the density of the proposed development falls within the parameters of the City's traffic model. Should the density be other than the density assumed in the model, regional issues shall be addressed as directed by the City of Chesterfield.
2. Provide a sight distance evaluation report, as required by the City of Chesterfield, for the proposed entrance onto Chesterfield Airport Road. If adequate sight distance cannot be provided at the access location, acquisition of right-of-way, reconstruction of pavement, including correction to the vertical alignment, and/or other off-site improvements shall be required, as directed by the City of Chesterfield and/or the Missouri Department of Transportation.

#### **L. POWER OF REVIEW**

Either Councilmember of the Ward where a development is proposed or the Mayor may request that the plan for a development be reviewed and approved by the entire City Council. This request must be made no later than twenty-four (24) hours after Planning Commission review. The City Council will then take appropriate action relative to the proposal. The plan for a development, for purposes of this section, may include the site development plan, site development section plan, site development concept plan, landscape plan, lighting plans, architectural elevations, sign package or any amendment thereto.

### **M. STORM WATER**

1. The site shall provide for the positive drainage of storm water and it shall be discharged at an adequate natural discharge point or an adequate piped system.
2. Storm water quality management shall be provided as required by the City of Chesterfield and the Metropolitan Saint Louis Sewer District.
3. Emergency overflow drainage ways to accommodate runoff from the 100-year storm event shall be provided for all storm sewers, as directed by the City of Chesterfield.
4. The receiving storm system(s) shall be evaluated to ensure adequate capacity and to ensure that the project has no negative impacts to the existing system(s).
5. Storm water features shall be in compliance with the Chesterfield Valley Storm Water Master Plan.
6. Detention/retention and channel protection measures are to be provided in each watershed as required by the City of Chesterfield. The storm water management facilities shall be operational prior to paving of any driveways or parking areas in non-residential development or issuance of building permits exceeding sixty percent (60%) of approved dwelling units in each plat, watershed or phase of residential developments. The location and types of storm water management facilities shall be identified on the Site Development Plan(s).

### **N. SANITARY SEWER**

1. Sanitary sewers shall be as approved by the City of Chesterfield and the Metropolitan St. Louis Sewer District.
2. Connection to public sanitary sewers is required, which would require that sanitary sewers be extended to the sites to be developed. The developer of this property will be required to provide any off-site easements necessary to connect the properties to be developed to existing public sewers.
3. The receiving sanitary sewer system(s) shall be evaluated to ensure adequate capacity and to ensure the project has no negative impacts to the existing system(s).

4. This project is located within the Caulks Creek Surcharge area. This surcharge will be collected prior to development plan approval by Metropolitan St. Louis Sewer District.

#### **O. GEOTECHNICAL REPORT**

Prior to Site Development Plan approval, provide a geotechnical report, prepared by a registered professional engineer licensed to practice in the State of Missouri, as directed by the Department of Public Services. The report shall verify the suitability of grading and proposed improvements with soil and geologic conditions and address the existence of any potential sinkhole, ponds, dams, septic fields, etc., and recommendations for treatment. A statement of compliance, signed and sealed by the geotechnical engineer preparing the report, shall be included on all Site Development Plans and Improvement Plans.

#### **P. MISCELLANEOUS**

1. All utilities will be installed underground.
2. If any development in, or alteration of, the floodplain or supplemental protection area is proposed, the developer may be required to submit a Floodplain Study and/or a Floodplain Development Permit/Application to the City of Chesterfield for approval. The Floodplain Study must be approved by the City of Chesterfield prior to the approval of the Site Development Plan, as directed. The Floodplain Development Permit must be approved prior to the approval of a grading permit or improvement plans. If any change in the location of the Special Flood Hazard Area is proposed, the Developer shall be required to obtain a Letter of Map Revision (LOMR) from the Federal Emergency Management Agency. The LOMR must be issued by FEMA prior to the final release of any escrow held by the City of Chesterfield for improvements in the development. Elevation Certificates will be required for any structures within the Special Flood Hazard Area or the Supplemental Protection Area. Consult Article 5 of the Unified Development Code for specific requirements.
3. An opportunity for recycling will be provided. All provisions of Chapter 25, Article VII, and Section 25-122 thru Section 25-126 of the City Code shall be required where applicable.

4. Road improvements and right-of-way dedication shall be completed prior to the issuance of an occupancy permit. If development phasing is anticipated, the developer shall complete road improvements, right-of-way dedication, and access requirements for each phase of development as directed by the City of Chesterfield and Saint Louis County Department of Highways and Traffic. Delays due to utility relocation and adjustments will not constitute a cause to allow occupancy prior to completion of road improvements.

## **II. TIME PERIOD FOR SUBMITTAL OF SITE DEVELOPMENT CONCEPT PLANS AND SITE DEVELOPMENT PLANS**

- A.** The developer shall submit a concept plan within eighteen (18) months of City Council approval of the change of zoning.
- B.** In lieu of submitting a Site Development Concept Plan and Site Development Section Plans, the petitioner may submit a Site Development Plan for the entire development within eighteen (18) months of the date of approval of the change of zoning by the City.
- C.** Failure to comply with these submittal requirements will result in the expiration of the change of zoning and will require a new public hearing.
- D.** Said Plan shall be submitted in accordance with the combined requirements for Site Development Section and Concept Plans. The submission of Amended Site Development Plans by sections of this project to the Planning Commission shall be permitted if this option is utilized.
- E.** Where due cause is shown by the developer, the City Council may extend the period to submit a Site Development Concept Plan or Site Development Plan for eighteen (18) months.

## **III. COMMENCEMENT OF CONSTRUCTION**

- A.** Substantial construction shall commence within two (2) years of approval of the Site Development Concept Plan or Site Development Plan, unless otherwise authorized by ordinance.
- B.** Where due cause is shown by the developer, the City Council may extend the period to commence construction for two (2) additional years.

#### **IV. GENERAL CRITERIA**

##### **A. SITE DEVELOPMENT CONCEPT PLAN**

1. Any Site Development Concept Plan shall show all information required on a preliminary plat as required in the City of Chesterfield Code.
2. Include a Conceptual Landscape Plan in accordance with the City of Chesterfield Unified Development Code to indicate proposed landscaping along arterial and collector roadways.
3. Include a Lighting Plan in accordance with the City of Chesterfield Unified Development Code to indicate proposed lighting along arterial collector roadways.
4. Provide comments/approvals from the appropriate Fire District, the Metropolitan St. Louis Sewer District, the St. Louis County Department of Highways and Traffic, Monarch Chesterfield Levee District, Spirit of St. Louis Airport and the Missouri Department of Transportation.
5. Compliance with the current Metropolitan Sewer District Site Guidance as adopted by the City of Chesterfield.

##### **B. SITE DEVELOPMENT SECTION PLAN SUBMITTAL REQUIREMENTS**

The Site Development Section Plan shall adhere to the above criteria and to the following:

1. Location map, north arrow, and plan scale. The scale shall be no greater than one (1) inch equals one hundred (100) feet.
2. Parking calculations. Including calculation for all off street parking spaces, required and proposed, and the number, size and location for handicap designed.
3. Provide open space percentage for overall development including separate percentage for each lot on the plan.
4. Provide Floor Area Ratio (F.A.R.).
5. A note indicating all utilities will be installed underground.
6. A note indicating signage approval is separate process.

7. Depict the location of all buildings, size, including height and distance from adjacent property lines and proposed use.
8. Specific structure and parking setbacks along all roadways and property lines.
9. Indicate location of all existing and proposed freestanding monument signs.
10. Zoning district lines, subdivision name, lot number, lot dimensions, lot area, and zoning of adjacent parcels where different than site.
11. Floodplain boundaries.
12. Depict existing and proposed improvements within one hundred fifty (150) feet of the site as directed. Improvements include, but are not limited to, roadways, driveways and walkways adjacent to and across the street from the site, significant natural features, such as wooded areas and rock formations, and other karst features that are to remain or be removed.
13. Depict all existing and proposed easements and rights-of-way within one hundred fifty (150) feet of the site and all existing or proposed off-site easements and rights-of-way required for proposed improvements.
14. Indicate the location of the proposed storm sewers, detention basins, sanitary sewers and connection(s) to the existing systems.
15. Depict existing and proposed contours at intervals of not more than one (1) foot, and extending one hundred fifty (150) feet beyond the limits of the site as directed.
16. Address trees and landscaping in accordance with the City of Chesterfield Unified Development Code.
17. Comply with all preliminary plat requirements of the City of Chesterfield Unified Development Code.
18. Signed and sealed in conformance with the State of Missouri Department of Economic Development, Division of Professional Registration, Missouri Board for Architects, Professional Engineers and Land Surveyors requirements.

19. Provide comments/approvals from the appropriate Fire District, the Metropolitan St. Louis Sewer District, Monarch Levee District, Spirit of St. Louis Airport, St. Louis Department of Highways and Traffic, and the Missouri Department of Transportation.
20. Compliance with Sky Exposure Plane.
21. Compliance with the current Metropolitan Sewer District Site Guidance as adopted by the City of Chesterfield.

**C. SITE DEVELOPMENT PLAN SUBMITTAL REQUIREMENTS**

The Site Development Plan shall include, but not be limited to, the following:

1. Location map, north arrow, and plan scale. The scale shall be no greater than one (1) inch equals one hundred (100) feet.
2. Outboundary plat and legal description of property.
3. Density calculations.
4. Parking calculations. Including calculation for all off street parking spaces, required and proposed, and the number, size and location for handicap designed.
5. Provide openspace percentage for overall development including separate percentage for each lot on the plan.
6. Provide Floor Area Ratio (F.A.R.).
7. A note indicating all utilities will be installed underground.
8. A note indicating signage approval is separate process.
9. Depict the location of all buildings, size, including height and distance from adjacent property lines, and proposed use.
10. Specific structure and parking setbacks along all roadways and property lines.
11. Indicate location of all existing and proposed freestanding monument signs.

12. Zoning district lines, subdivision name, lot number, dimensions, and area, and zoning of adjacent parcels where different than site.
13. Floodplain boundaries.
14. Depict existing and proposed improvements within 150 feet of the site as directed. Improvements include, but are not limited to, roadways, driveways and walkways adjacent to and across the street from the site, significant natural features, such as wooded areas and rock formations, and other karst features that are to remain or be removed.
15. Depict all existing and proposed easements and rights-of-way within 150 feet of the site and all existing or proposed off-site easements and rights-of-way required for proposed improvements.
16. Indicate the location of the proposed storm sewers, detention basins, sanitary sewers and connection(s) to the existing systems.
17. Depict existing and proposed contours at intervals of not more than one (1) foot, and extending 150 feet beyond the limits of the site as directed.
18. Address trees and landscaping in accordance with the City of Chesterfield Code.
19. Comply with all preliminary plat requirements of the City of Chesterfield Subdivision Regulations per the City of Chesterfield Code.
20. Signed and sealed in conformance with the State of Missouri Department of Economic Development, Division of Professional Registration, Missouri Board for Architects, Professional Engineers and Land Surveyors requirements.
21. Provide comments/approvals from the appropriate Fire District, Monarch Levee District, Spirit of St. Louis Airport, Metropolitan St. Louis Sewer District (MSD) and the Missouri Department of Transportation.
22. Compliance with Sky Exposure Plane.
23. Compliance with the current Metropolitan Sewer District Site Guidance as adopted by the City of Chesterfield.

## V. TRUST FUND CONTRIBUTION

### Traffic Generation Assessment Rates

The amount of all required contributions for roadway, storm water and primary water line improvements, if not submitted by January 1, 2017, shall be adjusted on that date and on the first day of January in each succeeding year thereafter in accordance with the construction cost index as determined by the Saint Louis County Department of Transportation.

### A. ROADS

1. The developer shall be required to contribute a Traffic Generation Assessment (TGA) to the Chesterfield Valley Trust Fund (No. 556). This contribution shall not exceed an amount established by multiplying the required parking spaces by the following rate schedule:

<u>Type of Development</u>	<u>Required Contribution</u>
General Retail	\$2,223.29/parking space
Restaurant, Sit Down	\$2,223.29/parking space
Loading Space	\$3,638.14/parking space

If types of development proposed differ from those listed, rates shall be provided by the St. Louis County Department of Transportation.

If a portion of the improvements required herein are needed to provide for the safety of the traveling public, their completion as a part of this development is mandatory.

Allowable credits for required roadway improvements will be awarded as directed by the St. Louis County Department of Transportation and the City of Chesterfield. Sidewalk construction and utility relocation, among other items, are not considered allowable credits.

2. As this development is located within a trust fund area established by St. Louis County, any portion of the traffic generation assessment contribution which remains following completion of road improvements required by the development shall be retained in the appropriate trust fund.
3. Road Improvement Traffic Generation Assessment contributions shall be deposited with Saint Louis County Department of Transportation.

The deposit shall be made prior to the issuance of a Special Use Permit (S.U.P.) by Saint Louis County Department of Transportation or prior to the issuance of building permits in the case where no Special Use Permit is required. If development phasing is anticipated, the developer shall provide the Traffic Generation Assessment contribution prior to the issuance of building permits for each phase of development. Funds shall be payable to Treasurer, Saint Louis County.

## **B. WATER MAIN**

The primary water line contribution is based on gross acreage of the development land area. The contribution shall be a sum of \$894.19 per acre for the total area as approved on the Site Development Plan to be used solely to help defray the cost of constructing the primary water line serving the Chesterfield Valley area.

The primary water line contribution shall be deposited with the Saint Louis County Department of Transportation. The deposit shall be made before Saint Louis County approval of the Site Development Plan unless otherwise directed by the Saint Louis County Department of Transportation. Funds shall be payable to Treasurer, Saint Louis County.

## **C. STORM WATER**

The storm water contribution is based on gross acreage of the development land area. These funds are necessary to help defray the cost of engineering and construction improvements for the collection and disposal of storm water from the Chesterfield Valley in accordance with the Master Plan on file with and jointly approved by Saint Louis County and the Metropolitan Saint Louis Sewer District. The amount of the storm water contribution will be computed based on \$2,837.06 per acre for the total area as approved on the Site Development Plan.

The storm water contributions to the Trust Fund shall be deposited with the Saint Louis County Department of Transportation. The deposit shall be made prior to the issuance of a Special Use Permit (S.U.P.) by Saint Louis County Department of Transportation or prior to the issuance of building permits in the case where no Special Use Permit is required. Funds shall be payable to Treasurer, Saint Louis County.

#### **D. SANITARY SEWER**

The sanitary sewer contribution is collected as the Caulks Creek impact fee.

The sanitary sewer contribution within the Chesterfield Valley area shall be deposited with the Metropolitan Saint Louis Sewer District as required by the District.

#### **VI. RECORDING**

Within sixty (60) days of approval of any development plan by the City of Chesterfield, the approved Plan will be recorded with the St. Louis County Recorder of Deeds. Failure to do so will result in the expiration of approval of said plan and require re-approval of a plan by the Planning Commission.

#### **VII. ENFORCEMENT**

- A.** The City of Chesterfield, Missouri will enforce the conditions of this ordinance in accordance with the Plan approved by the City of Chesterfield and the terms of this Attachment A.
- B.** Failure to comply with any or all the conditions of this ordinance will be adequate cause for revocation of approvals/permits by reviewing Departments and Commissions.
- C.** Non-compliance with the specific requirements and conditions set forth in this Ordinance and its attached conditions or other Ordinances of the City of Chesterfield shall constitute an ordinance violation, subject, but not limited to, the penalty provisions as set forth in the City of Chesterfield Code.
- D.** Waiver of Notice of Violation per the City of Chesterfield Code.
- E.** This document shall be read as a whole and any inconsistency to be integrated to carry out the overall intent of this Attachment A.

PROJECT NOTES:	
AREA OF SITE:	5.1 ACRES
LOCATOR NO.:	17T 14 0211 / 17T140202
ADDRESS:	16955 CHESTERFIELD AIRPORT RD CHESTERFIELD, MO. 63005
OWNER OF RECORD:	CAPLACO NINETEEN, INC. DEVELOPMENT
PREPARED FOR:	11860 STUDD AVENUE P.O. BOX 419121 ST. LOUIS, MISSOURI 63141 314-991-8900 EXT. 253
PREPARED BY:	<b>VOLZ</b> INCORPORATED
SUBDIVISION:	PARCEL 1: LOT C 800 KEMP AUTOMOBILE MUSEUM SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 351 PAGE 824 AND 825 OF THE ST. LOUIS COUNTY RECORDS.
EXISTING ZONING:	PC "PLANNED COMMERCIAL DISTRICT WITH "MAA" MUSEUM ARTS AREA ORDINANCE #1902 & #2116
PROPOSED ZONING:	PC "PLANNED COMMERCIAL DISTRICT"
PARKING REQUIRED & PROPOSED:	PER THE CITY OF CHESTERFIELD "UDC"
REQUIRED OPEN SPACE:	35% - UNIFIED DEVELOPMENT CODE
REQUIRED F.A.R.:	0.55 - UNIFIED DEVELOPMENT CODE
FIRM MAP #:	29189C065K FEB. 4, 2015
MAXIMUM HEIGHT:	40' HIGH
LEGAL DESCRIPTION:	A TRACT OF LAND BEING C 800 OF "KEMP AUTOMOBILE MUSEUM SUBDIVISION" IN U.S. SURVEY 2031 TOWNSHIP 45 NORTH - RANGE 4 EAST - CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI

**GENERAL NOTES:**

THIS SITE IS IN THE FOLLOWING DISTRICTS:  
METROPOLITAN ST. LOUIS SEWER DISTRICT  
MONARCH FIRE PROTECTION DISTRICT  
ROCKWOOD R8 SCHOOL DISTRICT  
BOHNOMME CREEK WATERSHED  
WARD 4

THIS SITE IS IN THE FOLLOWING UTILITY SERVICE AREAS:  
MISSOURI AMERICAN WATER COMPANY  
LALEDE GAS COMPANY  
AMEREN COMPANY  
SOUTHWESTERN BELL TELEPHONE COMPANY  
CHARTER COMMUNICATION (CABLE TV)

SANITARY SEWER CONNECTIONS SHALL BE AS APPROVED BY THE METROPOLITAN ST. LOUIS SEWER DISTRICT.

STORMWATER MANAGEMENT SHALL BE DESIGNED PURSUANT TO THE CITY OF CHESTERFIELD AND METROPOLITAN ST. LOUIS SEWER DISTRICT REQUIREMENTS AND DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT.

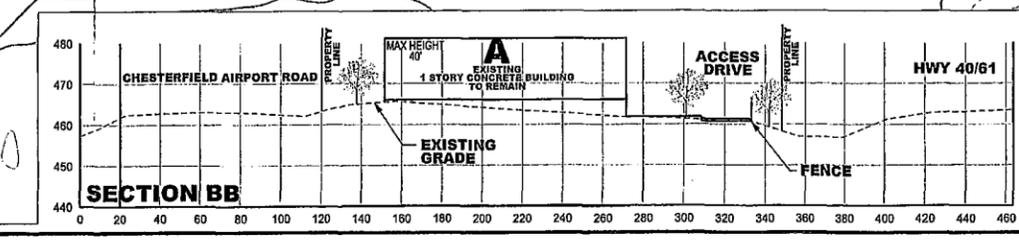
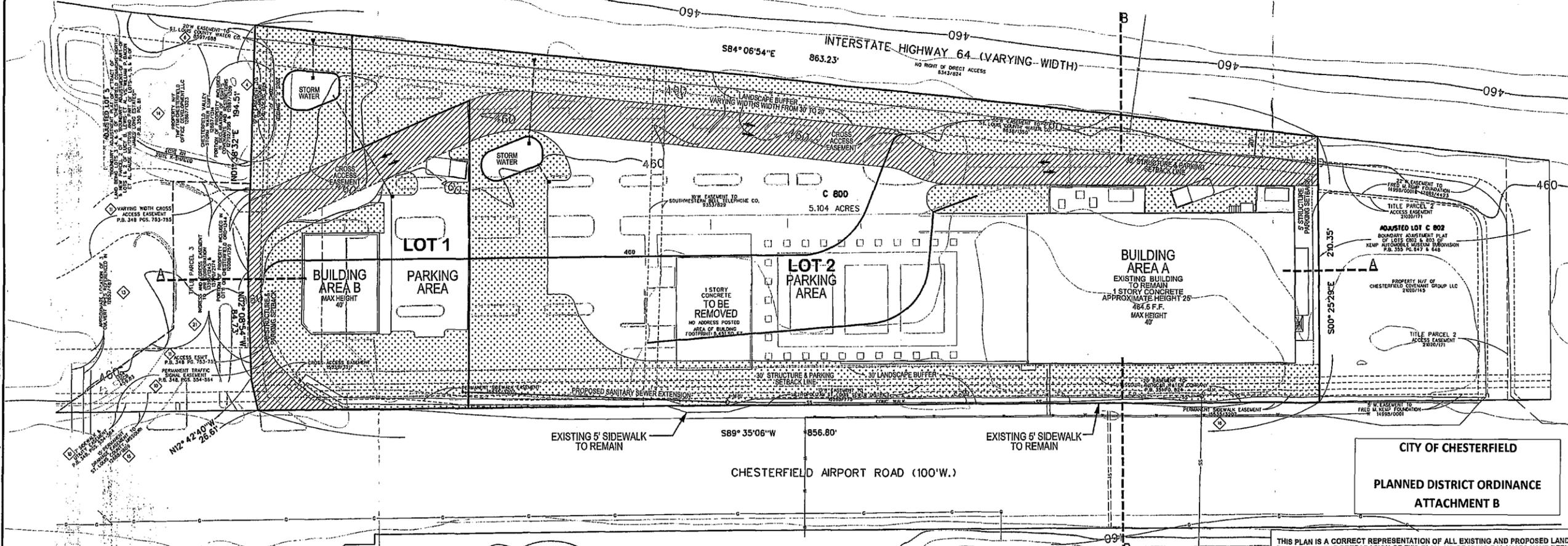
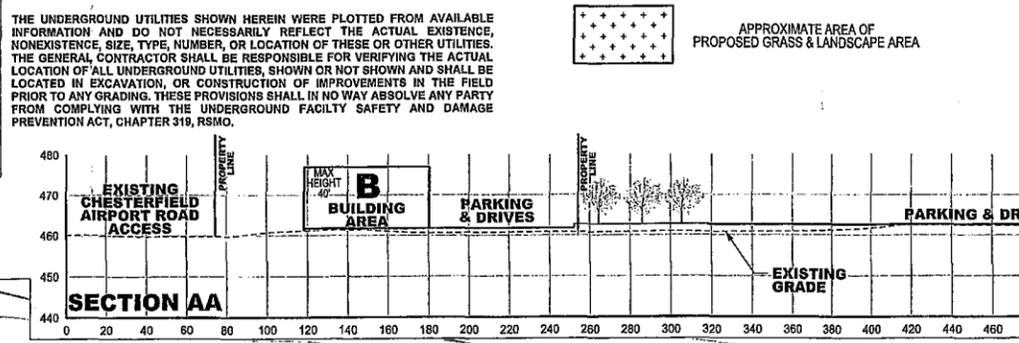
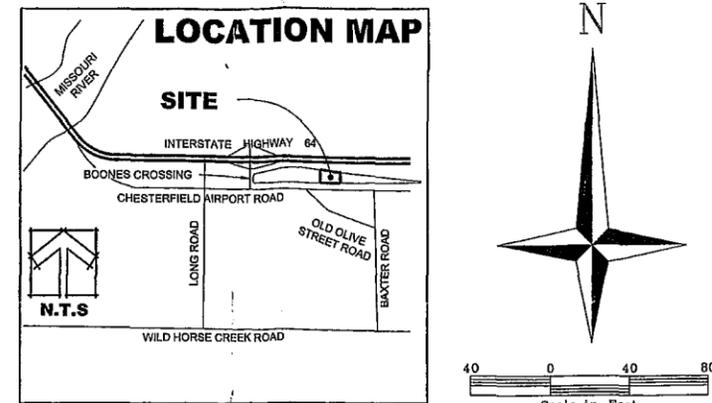
THE LOCATION OF STORM AND SANITARY SEWER IMPROVEMENTS ARE APPROXIMATE ONLY. ACTUAL CONDITIONS AND SHALL BE INDICATED ON THE LOCATION SHALL BE DETERMINED BY FIELD IMPROVEMENT PLANS.

GRADING SHALL BE PER CITY OF CHESTERFIELD STANDARDS

SLOPES SHALL NOT EXCEED 3H TO 1V

A TRACT OF LAND BEING PART OF ADJUSTED NEW PARCEL 2 OF THE BOUNDARY ADJUSTMENT PLAT, RECORDED IN PLAT BOOK 350 PAGE 81, IN U.S. SURVEY 2031, TOWNSHIP 45 NORTH - RANGE 4 EAST, CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID ADJUSTED NEW PARCEL 2, SAID BEGINNING POINT BEING ALSO A POINT ON THE NORTH LINE OF CHESTERFIELD AIRPORT ROAD, OF VARYING WIDTH; THENCE NORTHWARDLY ALONG THE WEST LINE OF SAID ADJUSTED NEW PARCEL 2, NORTH 12 DEGREES 42 MINUTES 40 SECONDS WEST 28.61 FEET, NORTH 02 DEGREES 06 MINUTES 54 SECONDS WEST 84.73 FEET AND NORTH 01 DEGREE 38 MINUTES 32 SECONDS EAST 194.51 FEET TO A POINT ON THE SOUTH LINE OF INTERSTATE HIGHWAY 64, OF VARYING WIDTH; THENCE EASTWARDLY ALONG SAID SOUTH LINE, SOUTH 84 DEGREES 06 MINUTES 54 SECONDS EAST 863.23 FEET TO A POINT; THENCE SOUTH 00 DEGREES 25 MINUTES 29 SECONDS EAST 210.35 FEET TO A POINT ON THE AFORESAID NORTH LINE OF CHESTERFIELD AIRPORT ROAD, OF VARYING WIDTH; THENCE WESTWARDLY ALONG SAID NORTH LINE SOUTH 89 DEGREES 35 MINUTES 06 SECONDS WEST 856.80 FEET TO THE POINT OF BEGINNING AND CONTAINING 5.104 ACRES ACCORDING TO CALCULATIONS BY VOLZ, INC. DURING FEBRUARY 2003.



PARCEL 1: LOT C 800 KEMP AUTOMOBILE MUSEUM SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 351 PAGE 824 AND 825 OF THE ST. LOUIS COUNTY RECORDS.

THIS PLAN IS A CORRECT REPRESENTATION OF ALL EXISTING AND PROPOSED LAND DIVISIONS. IN THE PREPARATION OF THIS PLAN, NO GRADING BALANCES HAVE BEEN DONE AND THIS AMENDED SITE DEVELOPMENT PLAN IS SUBJECT TO THAT WHICH A MORE DETAILED EVALUATION MAY INDICATE. SOILS AND SUBSURFACE INFORMATION HAVE NOT BEEN AVAILABLE AND HENCE NOT TAKEN INTO ACCOUNT. ZONING DENSITY IS ASSUMED. THE LOCATION, CAPACITY AND AVAILABILITY OF UTILITIES ARE TAKEN FROM AVAILABLE INFORMATION WITHOUT VERIFICATION. ACCORDINGLY, THE UNDERSIGNED ASSUMES RESPONSIBILITY FOR THE ACCURACY OF THE AFORESAID MATTERS FOR DILIGENCE THAT WOULD BE NECESSARY TO ADDRESS ALL REQUIREMENTS OF DEVELOPMENT.

ROBERT VOLZ  
INCORPORATED  
PROFESSIONAL LAND SURVEYOR  
STATE OF MISSOURI  
LICENSE NO. 000000000

ERIC J. KIRBY  
PROFESSIONAL LAND SURVEYOR  
STATE OF MISSOURI  
LICENSE NO. 000000000

**CAPITOL LAND**  
11860 STUDD AVENUE  
P.O. BOX 419121  
ST. LOUIS, MISSOURI 63141  
314-991-8900 EXT. 253

**VOLZ INCORPORATED**  
ENGINEERS  
LAND PLANNING  
LAND SURVEYING  
TRANSPORTATION  
CONSULTING  
10040 Indian Head Blvd.  
St. Louis, Missouri 63132  
314.990.1250  
www.volzinc.com  
Authority #205

**CAPLACO NINETEEN, INC. DEVELOPMENT**  
"FORMERLY KNOWN AS KEMP AUTOMOBILE MUSEUM"  
16955 CHESTERFIELD AIRPORT RD.  
A TRACT OF LAND BEING C 800 OF "KEMP AUTOMOBILE MUSEUM SUBDIVISION" IN U.S. SURVEY 2031  
TOWNSHIP 45 NORTH - RANGE 4 EAST CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI

**PRELIMINARY DEVELOPMENT PLAN**

LOCATOR # 17T 14 0211  
PROJECT # 2005-03  
BASE MAP NO. 17T

REVISED  
6-20-2016  
6-24-2016

10/15/2015

H:\CADD\2005-2009\2005\2005\Development\2005-03\_PDP\_Revise.dwg 6/20/2016 10:16:59 AM  
 PDP\_Revise.dwg 6/20/2016 10:16:59 AM



BILL NO. 3110

ORDINANCE NO. \_\_\_\_\_

**AN ORDINANCE AMENDING THE UNIFIED DEVELOPMENT CODE OF THE CITY OF CHESTERFIELD BY CHANGING THE BOUNDARIES OF TWO EXISTING "PC" PLANNED COMMERCIAL DISTRICTS TO A NEW "PC" PLANNED COMMERCIAL DISTRICT FOR A 22.22 ACRE TRACT OF LAND LOCATED NORTH OF NORTH OUTER 40 ROAD AND EAST OF BOONE'S CROSSING (P.Z. 04-2016 US ICE SPORTS COMPLEX & VALLEY GATES [TOPGOLF USA CHESTERFIELD LLC.]—17T510041, 17T520062, 17T520095, 17T520084).**

**WHEREAS**, the petitioner, Topgolf USA Chesterfield, LLC., has requested a change in zoning for two existing "PC" Planned Commercial Districts to a new "PC" Planned Commercial District for a 22.22 acre tract of land located north of North Outer 40 Road and east of Boone's Crossing; and,

**WHEREAS**, a Public Hearing was held before the Planning Commission on June 27, 2016; and,

**WHEREAS**, the Planning Commission, having considered said request, recommended approval of the change of zoning; and,

**WHEREAS**, the Planning and Public Works Committee, having considered said request, recommended approval of the change of zoning; and,

**WHEREAS**, the City Council, having considered said request, voted to approve the change of zoning request.

**NOW THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:**

**Section 1.** City of Chesterfield Unified Development Code and the Official Zoning District Map, which are part thereof, are hereby amended by establishing a "PC" Planned Commercial District designation for 22.22 acres located north of North Outer 40 Road and east of Boone's Crossing and as described as follows:

A tract of land being a tract of land as conveyed to Summit Ice Center Investors, LLC by instrument recorded in Book 14970, Page 648 and Lots A and B of Valley Gates, a subdivision according to the plat thereof as recorded in Plat Book 356, page 688 both of the St. Louis

County Records, located in U.S. Survey 2031, Township 45, North, Range 4 East of the Fifth Principal Meridian, City of Chesterfield, St. Louis County, Missouri being more particularly described as follows:

Beginning at the intersection of the west line of Lot 5 of James Long Estate, according to the plat thereof as recorded in Book 445, Page 354 of the City of St. Louis records, also being the east line of a tract of land as conveyed to Taubman Prestige Outlets of Chesterfield, LLC by instrument recorded in Book 20091, page 1215 of above said county records and the north right-of-way line of Missouri State Highway Route 40 TR Relocated, variable width, as recorded in Book 6343, page 868 of also of above said county records, said point being located 190 feet north of the centerline of said highway; thence along the east line of said Taubman tract the following courses and distances, North 01 degree 36 minutes 28 seconds East, 288.84 feet; North 66 degrees 52 minutes 23 seconds East, 42.59 feet; North 52 degrees 55 minutes 22 seconds East, 83.69 feet; North 43 degrees 35 minutes 48 seconds East, 119.08 feet; North 38 degrees 40 minutes 37 seconds East, 130.29 feet and North 50 degrees 31 minutes 21 seconds East, 99.71 feet to the southern line of a tract of land as conveyed to Wayne D & Ruthann E Hayes, by instrument recorded in Book 9054, Page 2041 of said county records; thence along said southern line the following courses and distances: North 50 degrees 31 minutes 21 seconds East, 28.80 feet; North 84 degrees 43 minutes 06 seconds East, 44.91 feet; South 87 degrees 00 minutes 22 seconds East, 188.72 feet; South 86 degrees 58 minutes 09 seconds East, 209.17 feet and North 87 degrees 39 minutes 35 seconds East, 260.46 feet to the northwest corner of above said Valley Gates Subdivision; thence along the north line of said subdivision the following courses and distances, North 87 degrees 39 minutes 35 seconds East, 92.35 feet; South 88 degrees 38 minutes 39 seconds East, 277.05 feet and South 78 degrees 44 minutes 00 seconds East, 24.29 feet to the northeast corner of said subdivision; thence along the east line of said Valley Gates Subdivision, South 02 degrees 22 minutes 06 seconds East, 775.95 feet to the north line of above said Missouri State Highway 40 TR, said point also being located on a curve to the left having a radius of 3054.79 feet; thence along said right-of-way line the following; along said curve with an arc length of 225.28 feet and a chord which bears North 82 degrees, 00 minutes 08 seconds West, 225.22 feet to

a point of tangency and North 84 degrees 06 minutes 54 seconds West, 1287.96 feet to the Point of Beginning, containing 967,827 square feet or 22.218 acres more or less according to calculations performed by Stock & Associates Consulting Engineers, Inc, on February 29, 2016.

**Section 2.** The preliminary approval, pursuant to the City of Chesterfield Unified Development Code is granted, subject to all of the ordinances, rules and regulations and the specific conditions as recommended by the Planning Commission in its recommendation to the City Council, which are set out in the "Attachment A" and the preliminary plan indicated as "Attachment B" which is attached hereto as and made part of.

**Section 3.** The City Council, pursuant to the petition filed by Topgolf USA Chesterfield, LLC. in P.Z. 04-2016, requesting the rezoning embodied in this ordinance, and pursuant to the recommendation of the City of Chesterfield Planning Commission that said petition be granted and after a public hearing, held by the Planning Commission on the 27<sup>th</sup> day of June 2016, does hereby adopt this ordinance pursuant to the power granted to the City of Chesterfield under Chapter 89 of the Revised Statutes of the State of Missouri authorizing the City Council to exercise legislative power pertaining to planning and zoning.

**Section 4.** This ordinance and the requirements thereof are exempt from the warning and summons for violations as set out in Section 8 of the City of Chesterfield Unified Development Code.

**Section 5.** This ordinance shall be in full force and effect from and after its passage and approval.

Passed and approved this \_\_\_\_\_ day of \_\_\_\_\_, 2016

\_\_\_\_\_  
PRESIDING OFFICER

\_\_\_\_\_  
Bob Nation, MAYOR

ATTEST:

\_\_\_\_\_  
Vickie Hass, CITY CLERK

FIRST READING HELD: \_\_\_\_\_

## ATTACHMENT A

**All provisions of the City of Chesterfield City Code shall apply to this development except as specifically modified herein.**

### **I. SPECIFIC CRITERIA**

#### **A. PERMITTED USES**

1. The uses allowed in this “PC” Planned Commercial District shall be:
  - a. Administrative Offices for Educational or Religious Institutions
  - b. Church and other Places of Worship
  - c. Community Center
  - d. Art Gallery
  - e. Art Studio
  - f. Banquet Facility
  - g. Gymnasium
  - h. Recreation Facility
  - i. Office, Dental
  - j. Office, General
  - k. Office, Medical
  - l. Bakery
  - m. Bar
  - n. Bowling Center
  - o. Brewpub
  - p. Coffee Shop
  - q. Grocery, Community
  - r. Grocery, Neighborhood
  - s. Grocery, Supercenter
  - t. Restaurant, Sit Down
  - u. Restaurant, Fast Food
  - v. Restaurant, Take Out
  - w. Retail Sales Establishment, Community

- x. Retail Sales Establishment, Regional
- y. Tackle and Bait Shop
- z. Barber or Beauty Shop
- aa. Commercial Service Facility
- bb. Drug Store and Pharmacy
- cc. Dry Cleaning Establishment
- dd. Financial Institution, no drive-thru
- ee. Hotel and Motel
- ff. Hotel and Motel, Extended Stay
- gg. Professional and Technical Service Facility
- hh. Research Laboratory and Facility
- ii. Theatre, Indoor

**2. Hours of Operation.**

- a. Uses “q”, “r”, “s”, “w”, “x”, “y”, and “bb”, above shall be restricted to hours of operation open to the public from 6:00 AM to 12:00 AM. Hours of operation for said use may be expanded for Thanksgiving Day and the day after Thanksgiving upon review and approval of a Special Activities Permit, signed by the property owner and submitted to the City of Chesterfield at least seven (7) business days in advance of said holiday.
- b. All deliveries and trash pick-ups shall be limited to the hours from 7:00 AM to 11:00 PM.

**B. FLOOR AREA, HEIGHT, BUILDING AND PARKING STRUCTURE REQUIREMENTS**

**1. Height**

- a. The maximum height of all buildings, with the exception of buildings and structures utilized in conjunction with above use “h” Recreation Facility, shall not exceed forty-five (45) feet. Said restriction shall be exclusive of rooftop mechanical equipment and screening.
- b. The maximum height including parapets and other similar features, rooftop equipment, and lighting structures of all buildings utilized in conjunction with above use “h” Recreation Facility shall not exceed sixty (60) feet.

- c. The maximum height of poles and nets for the driving range in conjunction with above use “h” Recreation Facility shall not exceed one hundred and seventy (170) feet.

## 2. Building Requirements

- a. A minimum of thirty-five percent (35%) openspace is required for this development.
- b. This development shall have a maximum F.A.R. of 0.55.

## **C. SETBACKS**

### 1. Structure Setbacks

No building or structure, other than: a freestanding project identification sign, light standards, or flag poles will be located within the following setbacks:

- a. Seventy-five (75) feet from the southern boundary of the “PC” District.
- b. Five (5) feet from the eastern and western boundaries of the “PC” District.
- c. Thirty (30) feet from the northern boundary of the “PC” District.

### 2. Parking Setbacks

No parking stall, loading space, internal driveway, or roadway, except points of ingress or egress, will be located within the following setbacks:

- a. Thirty (30) feet from the southern boundary of the “PC” District.
- b. Zero (0) feet from the eastern and western boundaries of the “PC” District.
- c. Thirty (30) feet from the northern boundary of the “PC” District.

## **D. PARKING AND LOADING REQUIREMENTS**

1. Parking and loading spaces for this development will be as required in the City of Chesterfield Code.
2. No construction related parking shall be permitted within right of way or on any existing roadways. All construction related parking shall be confined to the development.

3. Provide adequate temporary off-street parking for construction employees. Parking on non-surfaced areas shall be prohibited in order to eliminate the condition whereby mud from construction and employee vehicles is tracked onto the pavement causing hazardous roadway and driving conditions.
4. Parking lots shall not be used as streets.

**E. LANDSCAPE AND TREE REQUIREMENTS**

1. The development shall adhere to the Landscape and Tree Preservation Requirements of the City of Chesterfield Code.

**F. SIGN REQUIREMENTS**

1. Signs shall be permitted in accordance with the regulations of the City of Chesterfield Code or a Sign Package may be submitted for the planned district. Sign Packages shall adhere to the City Code and are reviewed and approved by the City of Chesterfield Planning Commission.
2. Installation of a Landscaping and Ornamental Entrance Monument or Identification Signage construction, if proposed, shall be reviewed by the City of Chesterfield, and/or the St. Louis County Department of Highways and Traffic (or MoDOT), for sight distance considerations and approved prior to installation or construction.

**G. LIGHT REQUIREMENTS**

1. Provide a lighting plan and cut sheet in accordance with the City of Chesterfield Code.

**H. ARCHITECTURAL**

1. The development shall adhere to the Architectural Review Standards of the City of Chesterfield Code.
2. Trash enclosures: All exterior trash areas will be enclosed with a minimum six (6) foot high sight-proof enclosure complemented by adequate landscaping. The location, material, and elevation of any trash enclosures will be as approved by the City of Chesterfield on the Site Development Plan.

## **I. ACCESS/ACCESS MANAGEMENT**

1. Access to the development shall be from one entrance/exit on North Outer 40 Road as shown on the Preliminary Development Plan and adequate sight distance shall be provided, as directed by the City of Chesterfield, the Missouri Department of Transportation and St. Louis County Department of Transportation, as applicable.
2. Provide public access easements as needed such that access is provided from North Outer 40 Road to the adjoining property to the north for trail access. The easement shall be dedicated to the City of Chesterfield for public use. The conveyance or dedication of these easements will be a condition of Site Improvement Plan approval. The location, dimensions, and form of the conveyance or dedication shall be mutually agreed upon by the developer and the City of Chesterfield, and any such conveyance or dedication shall be subject to existing easements, if any.
3. If adequate sight distance cannot be provided at the access location(s), acquisition of right-of-way, reconstruction of pavement including correction to the vertical alignment and other off-site improvements may be required to provide the required sight distance as required by the City of Chesterfield and the St. Louis County Department of Transportation.
4. Cross access shall be provided to serve the properties to the east and west of the subject site, as directed by the City of Chesterfield.

## **J. PUBLIC/PRIVATE ROAD IMPROVEMENTS, INCLUDING PEDESTRIAN CIRCULATION**

1. Construct improvements as required by St. Louis County Department of Transportation and the City of Chesterfield, as directed by the City.
2. Additional right-of-way and road improvements shall be provided, as required by the St. Louis County Department of Transportation and the City of Chesterfield.
3. Prior to Special Use Permit issuance by the St. Louis County Department of Transportation, a special cash escrow or a special cash escrow supported by an Irrevocable Letter of Credit, must be established with the St. Louis County Department of Transportation to guarantee completion of the required roadway improvements.

4. The developer is advised that utility companies will require compensation for relocation of their facilities within public road right-of-way. Utility relocation cost shall not be considered as an allowable credit against the petitioner's traffic generation assessment contributions. The developer should also be aware of extensive delays in utility company relocation and adjustments. Such delays will not constitute a cause to allow occupancy prior to completion of road improvements.
5. Any request to install a gate at the entrance to this development must be approved by the City of Chesterfield and the St. Louis County Department of Highways and Traffic. No gate installation will be permitted on public right-of-way.
6. If a gate is installed on a street in this development, the streets within the development, or that portion of the development that is gated, shall be private and remain private forever.

#### **K. TRAFFIC STUDY**

1. Provide a traffic study as directed by the City of Chesterfield and/or the St. Louis County Department of Transportation. The scope of the study shall include internal and external circulation and may be limited to site specific impacts, such as the need for additional lanes, entrance configuration, geometrics, sight distance, traffic signal modifications or other improvements required, as long as the density of the proposed development falls within the parameters of the City's traffic model. Should the density be other than the density assumed in the model, regional issues shall be addressed as directed by the City of Chesterfield.
2. Provide a sight distance evaluation report, as required by the City of Chesterfield, for the proposed entrance onto North Outer 40 Road. If adequate sight distance cannot be provided at the access location, acquisition of right-of-way, reconstruction of pavement, including correction to the vertical alignment, and/or other off-site improvements shall be required, as directed by the City of Chesterfield and/or the St. Louis County Department of Transportation.

## **L. POWER OF REVIEW**

Either Councilmember of the Ward where a development is proposed or the Mayor may request that the plan for a development be reviewed and approved by the entire City Council. This request must be made no later than twenty-four (24) hours after Planning Commission review. The City Council will then take appropriate action relative to the proposal. The plan for a development, for purposes of this section, may include the site development plan, site development section plan, site development concept plan, landscape plan, lighting plans, architectural elevations, sign package or any amendment thereto.

## **M. STORM WATER**

1. The site shall provide for the positive drainage of storm water and it shall be discharged at an adequate natural discharge point or an adequate piped system.
2. Formal MSD review and approval and permits are required prior to construction.
3. Emergency overflow drainage ways to accommodate runoff from the 100-year storm event shall be provided for all storm sewers, as directed by the City of Chesterfield.
4. Offsite storm water shall be picked up and piped to an adequate natural discharge point. Such bypass systems must be adequately designed.
5. The lowest opening of all structures shall be set at least two (2) feet higher than the one hundred (100) year high water elevation in detention/retention facilities. All structures shall be set at least 30 feet horizontally from the limits of the one hundred (100) year high water.
6. The developer shall be responsible for construction of any required storm water improvements per the Chesterfield Valley Master Storm Water Plan, as applicable, and shall coordinate with the owners of the properties affected by construction of the required improvements. In the event that the ultimate required improvements cannot be constructed concurrently with this development, the developer shall provide interim drainage facilities and establish sufficient escrows as guarantee of future construction of the required improvements, including removal of interim facilities. Interim facilities shall be sized to handle runoff from the 100-year, 24-hour storm event as produced by the Master Storm Water Plan model. The interim facilities shall

provide positive drainage and may include a temporary pump station, if necessary. Interim facilities shall be removed promptly after the permanent storm water improvements are constructed.

7. The developer may elect to propose alternate geometry, size and/or type of storm water improvements that are functionally equivalent to the required improvements per the Chesterfield Valley Master Storm Water Plan. Functional equivalence is said to be achieved when, as determined by the Public Works Director, the alternate proposal provides the same hydraulic function, connectivity, and system-wide benefits without adversely affecting any of the following: water surface profiles at any location outside the development; future capital expenditures; maintenance obligations; equipment needs; frequency of maintenance; and probability of malfunction. The City will consider, but is not obligated to accept, the developer's alternate plans. If the Public Works Director determines that the developer's proposal may be functionally equivalent to the Chesterfield Valley Master Storm Water Plan improvements, hydraulic routing calculations will be performed to make a final determination of functional equivalence. The Director will consider the developer's proposal, but is not obligated to have the hydraulic analysis performed if any of the other criteria regarding functional equivalence will not be met. The hydraulic routing calculations regarding functional equivalence may be performed by a consultant retained by the City of Chesterfield. The developer shall be responsible for all costs related to consideration of an alternate proposal, which shall include any costs related to work performed by the consultant.
8. The developer shall provide all necessary Chesterfield Valley Storm Water Easements to accommodate future construction of the Chesterfield Valley Master Storm Water Plan improvements, and depict any and all Chesterfield Valley Master Storm Water Plan improvements on the Site Development Plan(s) and Improvement Plans. Maintenance of the required storm water improvements shall be the responsibility of the property owner unless otherwise noted.
9. All Chesterfield Valley Master Storm Water Plan improvements, as applicable, shall be operational prior to the paving of any driveways or parking areas unless otherwise approved.
10. Post Construction Best Management Practices (BMPs) will be required to treat the extents of the project's disturbed area. Additional BMPs may need to be integrated throughout the site in order to demonstrate this as detailed plans are developed. BMPs with a runoff volume

reduction component shall be the emphasis of the site's water quality strategy.

11. Approval from the Monarch Chesterfield Levee District and the City of Chesterfield with regards to the project's compliance with the Chesterfield Valley master drainage plan will be required prior to MSD approval of final plans.
12. The Chesterfield Outlets Pump Station was planned to serve the subject property and the adjacent property to the east.
  - a. The proposed sanitary sewer shall be public and located within a minimum 10' wide easement granted to MSD. The easement corridor shall extend to the eastern property line.
  - b. The easement and the horizontal and vertical design location of the new sanitary sewer shall maximize accessibility to the Chesterfield Outlets Pump Station via gravity sewers.
  - c. The anticipated flows generated by the Top Golf development will need to be determined and compared to the current capacity of the Chesterfield Outlets Pump Station. Improvements to the pump station and its effluent main may be necessary if the Top Golf development would generate flows in excess of the pump station's current storage and pumping capacities.
13. Detention/retention and channel protection measures are to be provided in each watershed as required by the City of Chesterfield. The storm water management facilities shall be operational prior to paving of any driveways or parking areas in non-residential development or issuance of building permits exceeding sixty percent (60%) of approved dwelling units in each plat, watershed or phase of residential developments. The location and types of storm water management facilities shall be identified on the Site Development Plan(s).

#### **N. SANITARY SEWER**

1. Sanitary sewers shall be as approved by the City of Chesterfield and the Metropolitan St. Louis Sewer District.

## **O. GEOTECHNICAL REPORT**

Prior to Site Development Plan approval, provide a geotechnical report, prepared by a registered professional engineer licensed to practice in the State of Missouri, as directed by the Department of Public Services. The report shall verify the suitability of grading and proposed improvements with soil and geologic conditions and address the existence of any potential sinkhole, ponds, dams, septic fields, etc., and recommendations for treatment. A statement of compliance, signed and sealed by the geotechnical engineer preparing the report, shall be included on all Site Development Plans and Improvement Plans.

## **P. MISCELLANEOUS**

1. All utilities will be installed underground.
2. Prior to record plat approval, the developer shall cause, at his expense and prior to the recording of any plat, the reestablishment, restoration or appropriate witnessing of all Corners of the United States Public Land Survey located within, or which define or lie upon, the out boundaries of the subject tract in accordance with the Missouri Minimum Standards relating to the preservation and maintenance of the United States Public Land Survey Corners, as necessary.
3. Prior to final release of subdivision construction deposits, the developer shall provide certification by a registered land surveyor that all monumentation depicted on the record plat has been installed and United States Public Land Survey Corners have not been disturbed during construction activities or that they have been reestablished and the appropriate documents filed with the Missouri Department of Natural Resources Land Survey Program, as necessary.
4. If any development in, or alteration of, the floodplain or supplemental protection area is proposed, the developer may be required to submit a Floodplain Study and/or a Floodplain Development Permit/Application to the City of Chesterfield for approval. The Floodplain Study must be approved by the City of Chesterfield prior to the approval of the Site Development Plan, as directed. The Floodplain Development Permit must be approved prior to the approval of a grading permit or improvement plans. If any change in the location of the Special Flood Hazard Area is proposed, the Developer shall be required to obtain a Letter of Map Revision (LOMR) from the Federal Emergency Management Agency. The LOMR must be issued by FEMA prior to the final release of any escrow held by the City of Chesterfield for

improvements in the development. Elevation Certificates will be required for any structures within the Special Flood Hazard Area or the Supplemental Protection Area. Consult Article 5 of the Unified Development Code for specific requirements.

5. An opportunity for recycling will be provided. All provisions of Chapter 25, Article VII, and Section 25-122 thru Section 25-126 of the City Code shall be required where applicable.
6. Road improvements and right-of-way dedication shall be completed prior to the issuance of an occupancy permit. If development phasing is anticipated, the developer shall complete road improvements, right-of-way dedication, and access requirements for each phase of development as directed by the City of Chesterfield and Saint Louis County Department of Highways and Traffic. Delays due to utility relocation and adjustments will not constitute a cause to allow occupancy prior to completion of road improvements.

## **II. TIME PERIOD FOR SUBMITTAL OF SITE DEVELOPMENT CONCEPT PLANS AND SITE DEVELOPMENT PLANS**

- A.** The developer shall submit a concept plan within eighteen (18) months of City Council approval of the change of zoning.
- B.** In lieu of submitting a Site Development Concept Plan and Site Development Section Plans, the petitioner may submit a Site Development Plan for the entire development within eighteen (18) months of the date of approval of the change of zoning by the City.
- C.** Failure to comply with these submittal requirements will result in the expiration of the change of zoning and will require a new public hearing.
- D.** Said Plan shall be submitted in accordance with the combined requirements for Site Development Section and Concept Plans. The submission of Amended Site Development Plans by sections of this project to the Planning Commission shall be permitted if this option is utilized.
- E.** Where due cause is shown by the developer, the City Council may extend the period to submit a Site Development Concept Plan or Site Development Plan for eighteen (18) months.

### **III. COMMENCEMENT OF CONSTRUCTION**

- A.** Substantial construction shall commence within two (2) years of approval of the Site Development Concept Plan or Site Development Plan, unless otherwise authorized by ordinance.
- B.** Where due cause is shown by the developer, the City Council may extend the period to commence construction for two (2) additional years.

### **IV. GENERAL CRITERIA**

#### **A. SITE DEVELOPMENT CONCEPT PLAN**

1. Any Site Development Concept Plan shall show all information required on a preliminary plat as required in the City of Chesterfield Code.
2. Include a Conceptual Landscape Plan in accordance with the City of Chesterfield Unified Development Code to indicate proposed landscaping along arterial and collector roadways.
3. Include a Lighting Plan in accordance with the City of Chesterfield Unified Development Code to indicate proposed lighting along arterial collector roadways.
4. Provide comments/approvals from the appropriate Fire District, the Metropolitan St. Louis Sewer District, the St. Louis County Department of Highways and Traffic, Monarch Chesterfield Levee District, Spirit of St. Louis Airport and the Missouri Department of Transportation.
5. Compliance with the current Metropolitan Sewer District Site Guidance as adopted by the City of Chesterfield.

#### **B. SITE DEVELOPMENT SECTION PLAN SUBMITTAL REQUIREMENTS**

The Site Development Section Plan shall adhere to the above criteria and to the following:

1. Location map, north arrow, and plan scale. The scale shall be no greater than one (1) inch equals one hundred (100) feet.
2. Parking calculations. Including calculation for all off street parking spaces, required and proposed, and the number, size and location for handicap designed.

3. Provide open space percentage for overall development including separate percentage for each lot on the plan.
4. Provide Floor Area Ratio (F.A.R.).
5. A note indicating all utilities will be installed underground.
6. A note indicating signage approval is separate process.
7. Depict the location of all buildings, size, including height and distance from adjacent property lines and proposed use.
8. Specific structure and parking setbacks along all roadways and property lines.
9. Indicate location of all existing and proposed freestanding monument signs.
10. Zoning district lines, subdivision name, lot number, lot dimensions, lot area, and zoning of adjacent parcels where different than site.
11. Floodplain boundaries.
12. Depict existing and proposed improvements within one hundred fifty (150) feet of the site as directed. Improvements include, but are not limited to, roadways, driveways and walkways adjacent to and across the street from the site, significant natural features, such as wooded areas and rock formations, and other karst features that are to remain or be removed.
13. Depict all existing and proposed easements and rights-of-way within one hundred fifty (150) feet of the site and all existing or proposed off-site easements and rights-of-way required for proposed improvements.
14. Indicate the location of the proposed storm sewers, detention basins, sanitary sewers and connection(s) to the existing systems.
15. Depict existing and proposed contours at intervals of not more than one (1) foot, and extending one hundred fifty (150) feet beyond the limits of the site as directed.
16. Address trees and landscaping in accordance with the City of Chesterfield Unified Development Code.

17. Comply with all preliminary plat requirements of the City of Chesterfield Unified Development Code.
18. Signed and sealed in conformance with the State of Missouri Department of Economic Development, Division of Professional Registration, Missouri Board for Architects, Professional Engineers and Land Surveyors requirements.
19. Provide comments/approvals from the appropriate Fire District, the Metropolitan St. Louis Sewer District, Monarch Levee District, Spirit of St. Louis Airport, St. Louis Department of Highways and Traffic, and the Missouri Department of Transportation.
20. Compliance with Sky Exposure Plane.
21. Compliance with the current Metropolitan Sewer District Site Guidance as adopted by the City of Chesterfield.

### **C. SITE DEVELOPMENT PLAN SUBMITTAL REQUIREMENTS**

The Site Development Plan shall include, but not be limited to, the following:

1. Location map, north arrow, and plan scale. The scale shall be no greater than one (1) inch equals one hundred (100) feet.
2. Outboundary plat and legal description of property.
3. Density calculations.
4. Parking calculations. Including calculation for all off street parking spaces, required and proposed, and the number, size and location for handicap designed.
5. Provide openspace percentage for overall development including separate percentage for each lot on the plan.
6. Provide Floor Area Ratio (F.A.R.).
7. A note indicating all utilities will be installed underground.
8. A note indicating signage approval is separate process.
9. Depict the location of all buildings, size, including height and distance from adjacent property lines, and proposed use.

10. Specific structure and parking setbacks along all roadways and property lines.
11. Indicate location of all existing and proposed freestanding monument signs.
12. Zoning district lines, subdivision name, lot number, dimensions, and area, and zoning of adjacent parcels where different than site.
13. Floodplain boundaries.
14. Depict existing and proposed improvements within 150 feet of the site as directed. Improvements include, but are not limited to, roadways, driveways and walkways adjacent to and across the street from the site, significant natural features, such as wooded areas and rock formations, and other karst features that are to remain or be removed.
15. Depict all existing and proposed easements and rights-of-way within 150 feet of the site and all existing or proposed off-site easements and rights-of-way required for proposed improvements.
16. Indicate the location of the proposed storm sewers, detention basins, sanitary sewers and connection(s) to the existing systems.
17. Depict existing and proposed contours at intervals of not more than one (1) foot, and extending 150 feet beyond the limits of the site as directed.
18. Address trees and landscaping in accordance with the City of Chesterfield Code.
19. Comply with all preliminary plat requirements of the City of Chesterfield Subdivision Regulations per the City of Chesterfield Code.
20. Signed and sealed in conformance with the State of Missouri Department of Economic Development, Division of Professional Registration, Missouri Board for Architects, Professional Engineers and Land Surveyors requirements.
21. Provide comments/approvals from the appropriate Fire District, Monarch Levee District, Spirit of St. Louis Airport, Metropolitan St. Louis Sewer District (MSD) and the Missouri Department of Transportation.

22. Compliance with Sky Exposure Plane.
23. Compliance with the current Metropolitan Sewer District Site Guidance as adopted by the City of Chesterfield.

## V. TRUST FUND CONTRIBUTION

### Traffic Generation Assessment Rates

The amount of all required contributions for roadway, storm water and primary water line improvements, if not submitted by January 1, 2017, shall be adjusted on that date and on the first day of January in each succeeding year thereafter in accordance with the construction cost index as determined by the Saint Louis County Department of Transportation.

### A. ROADS

1. The developer shall be required to contribute a Traffic Generation Assessment (TGA) to the Chesterfield Valley Trust Fund (No. 556). This contribution shall not exceed an amount established by multiplying the required parking spaces by the following rate schedule:

<u>Type of Development</u>	<u>Required Contribution</u>
General Retail	\$2,223.29/parking space
Recreational Uses	\$512.12/parking space
Office Space	\$741.06/parking space

If types of development proposed differ from those listed, rates shall be provided by the St. Louis County Department of Transportation.

If a portion of the improvements required herein are needed to provide for the safety of the traveling public, their completion as a part of this development is mandatory.

Allowable credits for required roadway improvements will be awarded as directed by the St. Louis County Department of Transportation and the City of Chesterfield. Sidewalk construction and utility relocation, among other items, are not considered allowable credits.

2. As this development is located within a trust fund area established by St. Louis County, any portion of the traffic generation assessment contribution which remains following completion of road improvements required by the development shall be retained in the appropriate trust fund.

3. Road Improvement Traffic Generation Assessment contributions shall be deposited with Saint Louis County Department of Transportation. The deposit shall be made prior to the issuance of a Special Use Permit (S.U.P.) by Saint Louis County Department of Transportation or prior to the issuance of building permits in the case where no Special Use Permit is required. If development phasing is anticipated, the developer shall provide the Traffic Generation Assessment contribution prior to the issuance of building permits for each phase of development. Funds shall be payable to Treasurer, Saint Louis County.

## **B. WATER MAIN**

The primary water line contribution is based on gross acreage of the development land area. The contribution shall be a sum of \$894.19 per acre for the total area as approved on the Site Development Plan to be used solely to help defray the cost of constructing the primary water line serving the Chesterfield Valley area.

The primary water line contribution shall be deposited with the Saint Louis County Department of Transportation. The deposit shall be made before Saint Louis County approval of the Site Development Plan unless otherwise directed by the Saint Louis County Department of Transportation. Funds shall be payable to Treasurer, Saint Louis County.

## **C. STORM WATER**

The storm water contribution is based on gross acreage of the development land area. These funds are necessary to help defray the cost of engineering and construction improvements for the collection and disposal of storm water from the Chesterfield Valley in accordance with the Master Plan on file with and jointly approved by Saint Louis County and the Metropolitan Saint Louis Sewer District. The amount of the storm water contribution will be computed based on \$2,837.06 per acre for the total area as approved on the Site Development Plan.

The storm water contributions to the Trust Fund shall be deposited with the Saint Louis County Department of Transportation. The deposit shall be made prior to the issuance of a Special Use Permit (S.U.P.) by Saint Louis County Department of Transportation or prior to the issuance of building permits in the case where no Special Use Permit is required. Funds shall be payable to Treasurer, Saint Louis County.

#### **D. SANITARY SEWER**

The sanitary sewer contribution is collected as the Caulks Creek impact fee.

The sanitary sewer contribution within the Chesterfield Valley area shall be deposited with the Metropolitan Saint Louis Sewer District as required by the District.

#### **VI. RECORDING**

Within sixty (60) days of approval of any development plan by the City of Chesterfield, the approved Plan will be recorded with the St. Louis County Recorder of Deeds. Failure to do so will result in the expiration of approval of said plan and require re-approval of a plan by the Planning Commission.

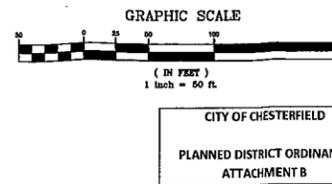
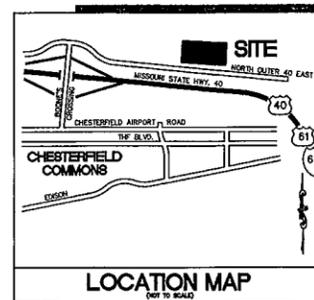
#### **VII. ENFORCEMENT**

- A.** The City of Chesterfield, Missouri will enforce the conditions of this ordinance in accordance with the Plan approved by the City of Chesterfield and the terms of this Attachment A.
- B.** Failure to comply with any or all the conditions of this ordinance will be adequate cause for revocation of approvals/permits by reviewing Departments and Commissions.
- C.** Non-compliance with the specific requirements and conditions set forth in this Ordinance and its attached conditions or other Ordinances of the City of Chesterfield shall constitute an ordinance violation, subject, but not limited to, the penalty provisions as set forth in the City of Chesterfield Code.
- D.** Waiver of Notice of Violation per the City of Chesterfield Code.
- E.** This document shall be read as a whole and any inconsistency to be integrated to carry out the overall intent of this Attachment A.

# TOPGOLF PRELIMINARY DEVELOPMENT PLAN

A TRACT OF LAND AS CONVEYED TO SUMMIT ICE CENTER INVESTORS, L.L.C., BY INSTRUMENT RECORDED IN BOOK 14790, PAGE 648 AND LOTS A AND B OF VALLEY GATES, A SUBDIVISION ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 356, PAGE 688 BOTH OF THE ST. LOUIS COUNTY RECORDS, LOCATED IN U.S. SURVEY 2031, TOWNSHIP 45 NORTH, RANGE 4 EAST OF THE FIFTH PRINCIPAL MERIDIAN, CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI

**TOTAL TRACT = 22.218 AC**



### SITE INFORMATION:

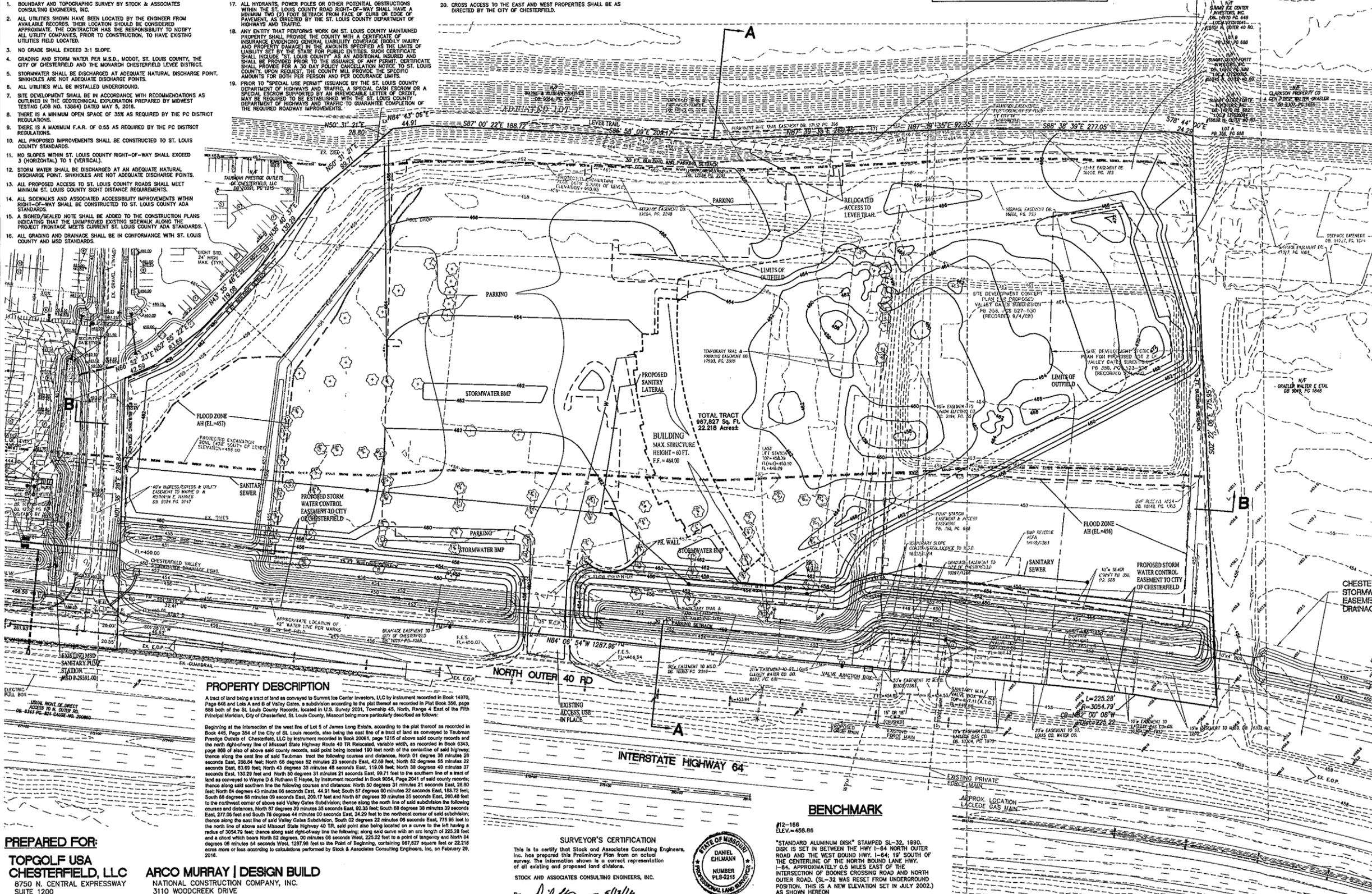
PROPOSED SITE AREA = 22.2172 ACRES  
 EXISTING ZONING = "PC" PLANNED COMMERCIAL (ORD. #1584 AND #2570)  
 PROPOSED ZONING = "PC" PLANNED COMMERCIAL  
 CITY = CHESTERFIELD, MISSOURI  
 SITE ZIP CODE = 63005  
 SITE ADDRESS INFO: 16851, 16845 and 16839 NORTH OUTER 40 ROAD  
 OWNER: TOPGOLF USA CHESTERFIELD, LLC (OWNER UNDER CONTRACT)  
 MUNNBERG'S = PGS. 20 AND 21  
 SCHER DISTRICT = METROPOLITAN ST. LOUIS SCHER DISTRICT  
 WATER SHED = CALUKS CREEK, MISSOURI RIVER  
 FLOOD MAP PANEL = FIRM 2318900165K, EFFECTIVE FEB. 4, 2015  
 FIRE DISTRICT = MONARCH FIRE PROTECTION DIST. 13725 OLIVE BLVD. CHESTERFIELD, MO 63017  
 WATER DISTRICT = MISSOURI AMERICAN WATER COMPANY

### INDEX

- C1 - PRELIMINARY DEVELOPMENT PLAN
- C2 - SITE SECTIONS
- TSD - TREE STAND DELINEATION

### GENERAL NOTES

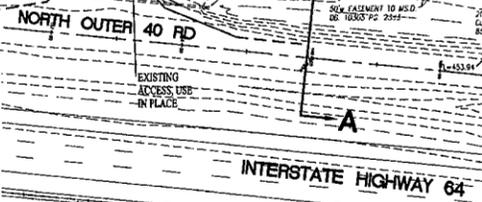
1. BOUNDARY AND TOPOGRAPHIC SURVEY BY STOCK & ASSOCIATES CONSULTING ENGINEERS, INC.
2. ALL UTILITIES SHOWN HAVE BEEN LOCATED BY THE ENGINEER FROM AVAILABLE RECORDS. THEIR LOCATIONS SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR HAS THE RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION, TO HAVE EXISTING UTILITIES FIELD LOCATED.
3. NO GRADE SHALL EXCEED 3:1 SLOPE.
4. GRADING AND STORM WATER PER M.S.D., MODOC, ST. LOUIS COUNTY, THE CITY OF CHESTERFIELD AND THE MONARCH CHESTERFIELD LEVEE DISTRICT.
5. STORMWATER SHALL BE DISCHARGED AT ADEQUATE NATURAL DISCHARGE POINT. SNOWMOBILES ARE NOT ADEQUATE DISCHARGE POINTS.
6. ALL UTILITIES WILL BE INSTALLED UNDERGROUND.
7. SITE DEVELOPMENT SHALL BE IN ACCORDANCE WITH RECOMMENDATIONS AS OUTLINED IN THE GEOLOGICAL EXPLORATION PREPARED BY MIDWEST TESTING (JOB NO. 13564) DATED MAY 6, 2016.
8. THERE IS A MINIMUM OPEN SPACE OF 35% AS REQUIRED BY THE PC DISTRICT REGULATIONS.
9. THERE IS A MAXIMUM F.A.R. OF 0.55 AS REQUIRED BY THE PC DISTRICT REGULATIONS.
10. ALL PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED TO ST. LOUIS COUNTY STANDARDS.
11. NO SLOPES WITHIN ST. LOUIS COUNTY RIGHT-OF-WAY SHALL EXCEED 3 (HORIZONTAL) TO 1 (VERTICAL).
12. STORM WATER SHALL BE DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT. SNOWMOBILES ARE NOT ADEQUATE DISCHARGE POINTS.
13. ALL PROPOSED ACCESS TO ST. LOUIS COUNTY ROADS SHALL MEET MINIMUM ST. LOUIS COUNTY SIGHT DISTANCE REQUIREMENTS.
14. ALL SIDEWALKS AND ASSOCIATED ACCESSIBILITY IMPROVEMENTS WITHIN RIGHT-OF-WAY SHALL BE CONSTRUCTED TO ST. LOUIS COUNTY STANDARDS.
15. A SIGNED/SEALED NOTE SHALL BE ADDED TO THE CONSTRUCTION PLANS INDICATING THAT THE UNIMPROVED EXISTING SIDEWALK ALONG THE PROJECT FRONTAGE MEETS CURRENT ST. LOUIS COUNTY ADA STANDARDS.
16. ALL GRADING AND DRAINAGE SHALL BE IN CONFORMANCE WITH ST. LOUIS COUNTY AND MSD STANDARDS.
17. ALL HYDRANTS, POWER POLES OR OTHER POTENTIAL OBSTRUCTIONS WITHIN THE ST. LOUIS COUNTY RIGHT-OF-WAY SHALL HAVE A MINIMUM TWO (2) FOOT SETBACK FROM FACE OF CURB OR PAVEMENT, AS DIRECTED BY THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC.
18. ANY ENTITY THAT PERFORMS WORK ON ST. LOUIS COUNTY MAINTAINED PROPERTY SHALL PROVIDE THE COUNTY WITH A CERTIFICATE OF INSURANCE EXEMPTING GENERAL LIABILITY COVERAGE (BODILY INJURY AND PROPERTY DAMAGE) IN THE AMOUNTS SPECIFIED AS THE LIMITS OF LIABILITY SET BY THE STATE FOR PUBLIC UTILITIES. SUCH CERTIFICATE SHALL INCLUDE "ST. LOUIS COUNTY" AS AN ADDITIONAL INSURED AND SHALL BE PROVIDED PRIOR TO THE ISSUANCE OF ANY PERMIT. CERTIFICATE SHALL PROVIDE FOR A 30 DAY POLICY CANCELLATION NOTICE TO ST. LOUIS COUNTY UPON REQUEST. THE COUNTY PROVIDES THE SPECIFIC AMOUNTS FOR BOTH PER PERSON AND PER OCCURRENCE LIMITS.
19. PRIOR TO "SPECIAL USE PERMIT" ISSUANCE BY THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC, A SPECIAL CASH ESCROW OR A SPECIAL ESCROW SUPPORTED BY AN IRREVOCABLE LETTER OF CREDIT, MAY BE REQUIRED TO BE ESTABLISHED WITH THE COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC TO GUARANTEE COMPLETION OF THE REQUIRED ROADWAY IMPROVEMENTS.
20. CROSS ACCESS TO THE EAST AND WEST PROPERTIES SHALL BE AS DIRECTED BY THE CITY OF CHESTERFIELD.



### PROPERTY DESCRIPTION

A tract of land being a tract of land as conveyed to Summit Ice Center Investors, LLC by instrument recorded in Book 14790, Page 648 and Lots A and B of Valley Gates, a subdivision according to the plat thereof as recorded in Plat Book 356, page 688 both of the St. Louis County Records, located in U.S. Survey 2031, Township 45 North, Range 4 East of the Fifth Principal Meridian, City of Chesterfield, St. Louis County, Missouri being more particularly described as follows:

Beginning at the intersection of the west line of Lot 5 of James Long Estate, according to the plat thereof as recorded in Book 445, Page 354 of the City of St. Louis records, also being the east line of a tract of land as conveyed to Traubman Prestige Outlets of Chesterfield, LLC by instrument recorded in Book 20091, page 1216 of above said county records and the north right-of-way line of Missouri State Highway Route 40 TR. Referred, relative width, as recorded in Book 0283, page 886 of also of above said county records, said point being located 190 feet north of the centerline of said highway; thence along the east line of said Traubman tract the following courses and distances, North 01 degree 38 minutes 28 seconds East, 258.64 feet; North 48 degrees 52 minutes 23 seconds East, 42.58 feet; North 62 degrees 16 minutes 22 seconds East, 93.69 feet; North 43 degrees 35 minutes 48 seconds East, 119.08 feet; North 38 degrees 40 minutes 37 seconds East, 130.29 feet; North 50 degrees 31 minutes 21 seconds East, 90.71 feet to the southern line of a tract of land as conveyed to Wayne D. & Ruthann E. Hanes, by instrument recorded in Book 9054, Page 2041 of said county records; thence along said southern line the following courses and distances: North 50 degrees 31 minutes 21 seconds East, 28.80 feet; North 84 degrees 43 minutes 06 seconds East, 44.91 feet; South 87 degrees 00 minutes 22 seconds East, 188.77 feet; South 68 degrees 08 minutes 08 seconds East, 200.17 feet and North 61 degrees 39 minutes 35 seconds East, 260.48 feet to the northwest corner of above said Valley Gates Subdivision; thence along the north line of said subdivision the following courses and distances, North 37 degrees 29 minutes 35 seconds East, 62.35 feet; South 58 degrees 36 minutes 39 seconds East, 271.06 feet and South 78 degrees 44 minutes 00 seconds East, 24.50 feet to the northeast corner of said subdivision; thence along the east line of said Valley Gates Subdivision, South 02 degrees 22 minutes 00 seconds East, 775.95 feet to the north line of above said Missouri State Highway 40 TR; said point also being located on a curve to the left having a radius of 3025.79 feet, thence along said right-of-way line the following: along said curve with an arc length of 225.28 feet and a chord which bears North 82 degrees, 00 minutes 08 seconds West, 225.22 feet to a point of tangency and North 84 degrees 06 minutes 54 seconds West, 1297.35 feet to the Point of Beginning, containing 567,827 square feet of 22.218 acres more or less according to calculations performed by Stock & Associates Consulting Engineers, Inc. on February 29, 2016.



**BENCHMARK**  
 #12-166  
 ELEV. = 458.86  
 "STANDARD ALUMINUM DISK" STAMPED SL-32, 1890. DISK IS SET IN BETWEEN THE HWY 1-64 NORTH OUTER ROAD AND THE WEST BOUND HWY. 1-64 SOUTH OF THE CENTERLINE OF THE NORTH BOUND LAKE HWY. 1-64, APPROXIMATELY 0.5 MILES EAST OF THE INTERSECTION OF BOONES CROSSING ROAD AND NORTH OUTER ROAD. (SL-32 WAS RESET FROM UNDERGROUND POSITION. THIS IS A NEW ELEVATION SET IN JULY 2002.) AS SHOWN HEREON

**SURVEYOR'S CERTIFICATION**  
 This is to certify that Stock and Associates Consulting Engineers, Inc. has prepared this Preliminary Plan from an actual survey. The information shown is a correct representation of all existing and proposed land divisions.  
 STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC.  
 By: *[Signature]* 5/13/16  
 Daniel J. Johnson, Missouri L.S. No. 2215



**PREPARED FOR:**  
**TOPGOLF USA**  
**CHESTERFIELD, LLC**  
 8750 N. CENTRAL EXPRESSWAY  
 SUITE 1200  
 DALLAS, TEXAS 75231

**ARCO MURRAY | DESIGN BUILD**  
 NATIONAL CONSTRUCTION COMPANY, INC.  
 3110 WOODCREEK DRIVE  
 DOWNERS GROVE, IL 60515

PREPARED BY:  
**STOCK & ASSOCIATES**  
 Consulting Engineers, Inc.  
 227 Chesterfield Business Park  
 Suite 100  
 St. Louis, MO 63017  
 P: (636) 533-5800  
 F: (636) 533-5801  
 e-mail: general@stockinc.com  
 Web: www.stockinc.com

PRELIMINARY DEVELOPMENT PLAN FOR:  
**TOPGOLF**  
 CITY OF CHESTERFIELD  
 ST. LOUIS COUNTY, MISSOURI



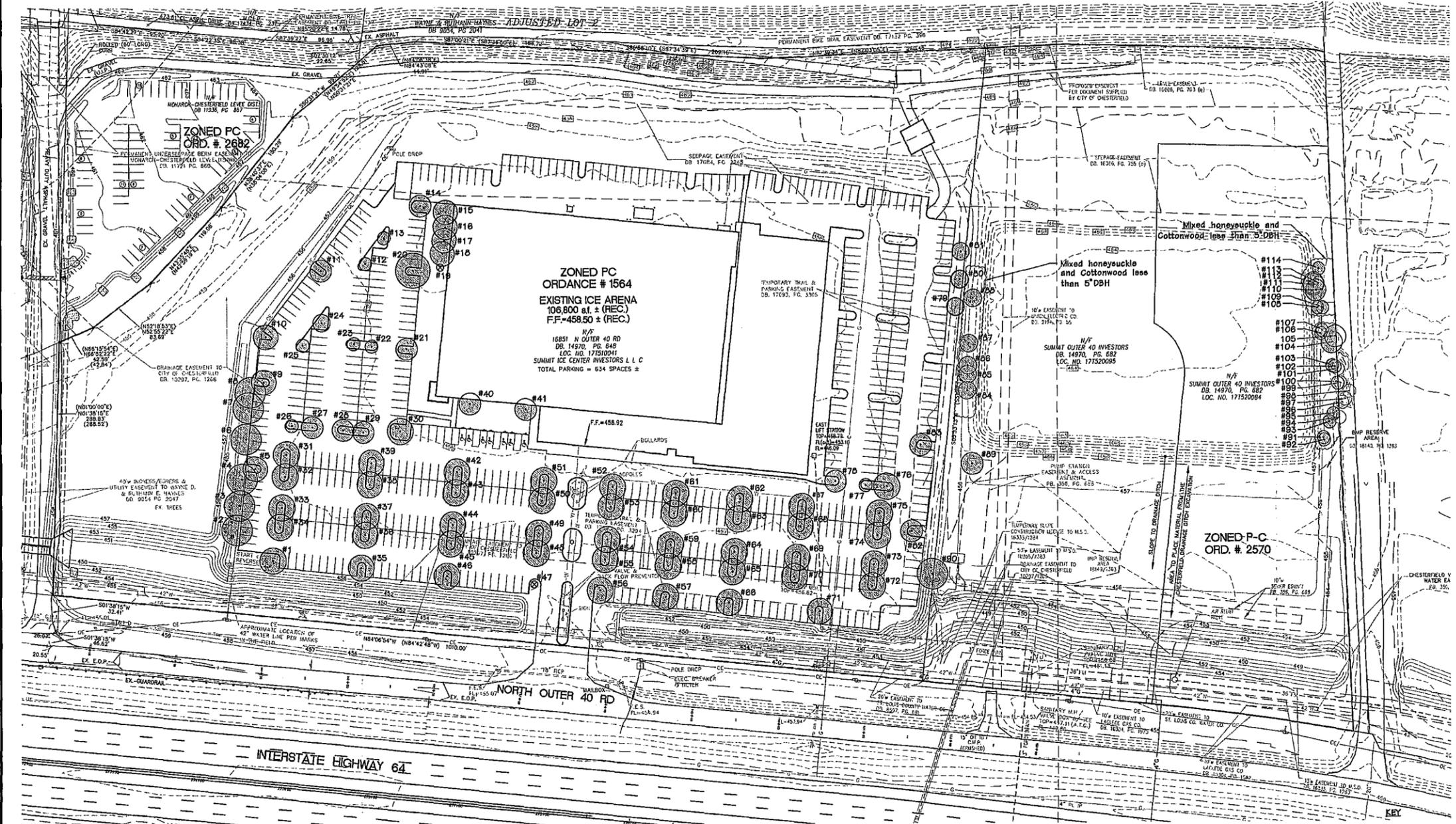
GEORGE M. STOCK E-25116  
 CIVIL ENGINEER  
 CERTIFICATE OF AUTHORITY  
 NUMBER: 000996

- REVISIONS:**
- 1 PER CITY COMMENTS 06/13/16
  - 2 PER CITY COMMENTS 06/28/16
  - 3 PER CITY COMMENTS 08/09/16
  - 4 PRESENTATION 08/20/16
  - 5 PER CITY COMMENTS 08/01/16

DATE	05/11/16	BY	G.M.S.
DATE	05/11/16	BY	212-50122
DATE		BY	177
DATE		BY	177
DATE		BY	177

SHEET TITLE:  
**PRELIMINARY DEVELOPMENT PLAN**  
 SHEET NO.: **C1**





**TREE STAND DELINEATION**  
SCALE 1"=50'



**Tree Stand Delineation Narrative**  
February 26, 2016

This project site is a total of 22.21 Ac. and has a total of 1.22 Ac. of canopy coverage. The canopy consists of Ash, Birch, Cottonwood, Pear, and White Pine. The few Pear are located along the west edge of the parking lot of have been topped underneath the overhead electric line. A few large White Pine border the existing building. All Ash and Birch are located within a parking lot island and only those east of the building entrance have been mulched, the remaining have turf to the base of the trunk. Cottonwoods make up scrubby tree lines along the east edge of the parking lot and along the east property line.

**RATING:**  
0 = Dead or Stump  
1 = Poor  
2 = Fair  
3 = Good  
4 = Excellent

There are no Monarch, State Champion or rare trees found on the site.

Total Site Area = 967,547 sq. ft. or 22.21 Ac.  
Total Tree Canopy = 53,092 sq. ft. or 1.22 Ac.

No.	Tree Name	DBH	Canopy Diam.	Area	Condition Rating	Comment
1	Birch	10	23	516	3	
2	Pear	18	35	962	2	OHE
3	pear	15	35	962	2	OHE
4	Pear	15	35	962	2	OHE
5	Birch	10	20	314	2	OHE
6	Pear	15	35	962	2	OHE, decay
7	Pear	15	35	962	1	OHE
8	Pear	15	35	962	1	OHE, decay
9	Birch	10	28	618	1	OHE, multistem
10	Birch	12	30	707	2	OHE, multistem
11	Birch	10	25	491	2	
12	Ash	5	15	177	3	
13	Ash	6	15	177	4	
14	Ash	15	25	491	3	
15	Pine	20	25	491	4	
16	Pine	20	25	491	4	
17	Pine	12	20	314	2	
18	Pine	12	25	491	4	
19	Stump	12	0	0	0	
20	Ash	19	40	1257	2	
21	Ash	12	20	314	2	
22	Ash	5	15	177	2	
23	Ash	6	15	177	2	
24	Ash	6	20	314	3	
25	Ash	6	15	177	2	
26	Ash	10	25	491	2	basal wounds
27	Ash	6	20	314	3	
28	Ash	6	25	491	1	gliding root
29	Ash	6	25	491	2	
30	Birch	10	28	618	3	
31	Ash	15	30	707	2	deadwood
32	Ash	18	35	962	1	included bark
33	Ash	8	30	707	2	
34	Ash	10	30	707	2	
35	Birch	9	30	707	3	

36	Ash	10	30	707	3	
37	Ash	9	30	707	3	
38	Ash	10	30	707	3	
39	Ash	10	30	707	3	
40	Pine	9	20	314	3	fork at 3'
41	Pine	9	20	314	3	
42	Ash	9	30	707	3	
43	Ash	9	30	707	2	
44	Ash	10	30	707	3	
45	Ash	9	30	707	3	
46	Birch	9	28	618	2	
47	Stump	15	0	0	0	
48	Ash	12	30	707	3	deadwood
49	Ash	12	30	707	3	
50	Ash	10	30	707	3	
51	Ash	10	30	707	3	
52	Ash	12	30	707	3	
53	Ash	12	30	707	2	
54	Ash	12	30	707	3	
55	Ash	10	30	707	3	
56	Birch	10	30	707	3	multistem
57	Birch	10	30	707	3	
58	Ash	9	30	707	3	
59	Ash	10	30	707	3	
60	Ash	12	30	707	3	
61	Ash	8	35	962	2	
62	Ash	8	30	707	3	
63	Ash	8	30	707	2	
64	Ash	10	30	707	3	
65	Ash	10	30	707	3	
66	Birch	14	35	962	3	
67	Ash	9	25	491	2	
68	Ash	12	30	707	3	
69	Ash	12	30	707	3	
70	Ash	15	35	962	3	

71	Birch	12	35	962	3	fork at 6'
72	Ash	4	20	314	1	multistem at base
73	Ash	6	20	314	2	
74	Ash	6	20	314	1	
75	Ash	5	15	177	2	
76	Ash	12	30	707	2	
77	Ash	5	20	314	2	
78	Ash	8	25	491	2	
79	Cottonwood	7	20	314	1	fork at 1'
80	Cottonwood	8	20	314	1	fork at 2.5'
81	Cottonwood	8	25	491	1	
82	Ash	10	25	491	2	
83	Ash	10	25	491	2	multistem
84	Cottonwood	6	15	177	2	
85	Cottonwood	6	15	177	2	
86	Cottonwood	6	15	177	2	
87	Cottonwood	6	15	177	2	
88	Cottonwood	6	15	177	2	
89	Cottonwood	12	25	491	2	
90	Cottonwood	12	25	491	2	multistem
91	Cottonwood	6	15	177	1	
92	Cottonwood	6	15	177	2	fork at 2'
93	Cottonwood	6	15	177	2	fork at 1'
94	Cottonwood	6	15	177	2	Offsite, multistem
95	Cottonwood	6	15	177	2	multistem
96	Cottonwood	6	15	177	2	Offsite
97	Cottonwood	6	15	177	2	Offsite
98	Cottonwood	8	20	314	2	Offsite, fork at 2'
99	Cottonwood	10	20	314	2	
100	Cottonwood	5	12	113	2	Offsite
101	Cottonwood	7	15	177	2	Offsite
102	Cottonwood	7	15	177	2	
103	Cottonwood	8	15	177	2	
104	Cottonwood	8	15	177	2	
105	Cottonwood	6	15	177	2	

106	Cottonwood	7	15	177	2	
107	Cottonwood	8	25	491	2	multistem
108	Cottonwood	5	12	113	2	
109	Cottonwood	5	12	113	2	
110	Cottonwood	12	30	707	2	
111	Cottonwood	12	30	707	2	
112	Cottonwood	10	25	491	2	
113	Cottonwood	7	12	113	2	
114	Cottonwood	6	15	177	2	

- KEY**
- Existing Tree
  - Existing Offsite Tree
  - ⊗ Existing Tree - Dead or Stump, see schedule

Revisions:

Date	Description	No.

Drawn: BB  
Checked: JS

**loomis Associates**  
landscape architects/planners  
10000 South Loop West, Suite 1000  
Houston, Texas 77054  
Phone: 281.488.8800  
Fax: 281.488.8801  
www.loomisassociates.com

Sheet Title: **Tree Stand Delineation Plan**  
Sheet No: **TSD**  
Date: 02/25/16  
Job #: 976.001

Tree Inventory Plan  
Prepared under direction of:  
Brian Bage  
Certified Arborist MW-5033A

**Jerald Saunders - Landscape Architect**  
MO License # LA-007  
Consultants:

Arco-Murray